



GOLF COURSE LIVING, CLOSE TO EVERYTHING

Pine Creek Village Association Community Guidelines

Approved July 24, 2018

*This revision supersedes all prior revisions.

www.pcva.org

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1 Introduction

1.1 COMMUNITY VISION

Pine Creek Village is a 900-acre upscale residential community in Briargate oriented to golf course and open space amenities. The golf course, common areas, parks and trails link a variety of housing types including custom and semi-custom homes, production single-family homes, town homes and apartments. Architecture and landscape are key elements of the Pine Creek theme and identity. The architectural theme borrows from the predominant architectural styles of historic Colorado Springs and adapts them in a contemporary form. Craftsman, Prairie, Spanish Eclectic, and European Cottage are the only architectural styles permitted in Pine Creek. Refer to **Section 4** of the Pine Creek *Design Guidelines* for descriptions and specific requirements on the architectural styles. Landscaping, walls, lighting and other streetscape elements have been selected to provide continuity throughout the community. Refer to **Section 4** of the Design Guidelines for additional information on landscape.

1.2 PURPOSE OF GUIDELINES

The purpose of the Pine Creek Community Guidelines (Community Guidelines) is to provide guidance for community standards, maintenance responsibilities and home improvement approval process for homeowners in Pine Creek. A “Community-Wide Standard” has been established in the Declaration of Covenants, Conditions and Restrictions for Pine Creek Village at Briargate (Declaration), these Community Guidelines, and the Design Guidelines to ensure a continuing quality environment from the design and maintenance of the homes to the quality of life of its residents.

The Design Guidelines were created for the initial construction of homes and neighborhoods; however, homeowners must abide by the Design Guidelines requirements when installing or modifying any exterior improvement on their property. The Design Guidelines are a document containing over 100 pages of sketches and descriptions of the site design, architecture and landscape requirements in Pine Creek. Copies of the Design Guidelines are available on-line at www.pcva.org or from the Pine Creek Village Association (PCVA).

The Community Guidelines work in concert with the Design Guidelines and the Declaration. Should any conflict exist between either the Community Guidelines or Design Guidelines with the Declaration, the Declaration shall prevail. **The Homeowners Association Board of Directors in concert with the Modifications Committee has sole discretion in resolving conflicts.** In addition, certain requirements in Pine Creek may overlap with governmental agency requirements. The more restrictive requirement shall prevail where conflicts exist.

1.3 ARCHITECTURAL REVIEW

1.3.1 ARCHITECTURAL REVIEW BOARD (ARB)

For new home construction ONLY, the developer of Pine Creek (La Plata) provides architectural review and control for new homes built during the developer period (ref CCR). The purpose of the architectural review process is to ensure that the Community-Wide Standard for Pine Creek is upheld. The Architectural Review Board (ARB) is responsible for the administration of the Community Guidelines and Design Guidelines and the review and verification of all applications for **initial construction** in Pine Creek. Note: as of this Guideline revision, only two empty lots remain unbuilt in Pine Creek and the ARB does not involve any existing homeowner.

1.3.2 MODIFICATIONS COMMITTEE (MC)

For existing homes, the Pine Creek Village Association (PCVA), acting as a lawful Homeowners Association (HOA), provides review and approval for all modifications and operates under a Board of Directors chartered Modifications Committee (MC). **The Modifications Committee (MC) is responsible for all applications for modifications to all existing homes and lots.** The MC uses the Community Guidelines and addendums, Design Guidelines, neighborhood addendums and considers local, state, and federal laws (to the extent applicable to restrictive covenants) when evaluating a Design Review Request. The MC can assist residents in understanding the requirements for Pine Creek when considering a home improvement project. All exterior improvements or modifications to a lot or residence, including all landscaping, require review and approval by the MC before any installation. All plans requiring governmental approval (example: Regional Building Department) must be reviewed and approved by the MC before governmental agency submittal, but MC approval should not be considered a representation that any governmental requirements have been met. . For all modifications requests involving permanent changes, a physical inspection of the property by the MC will be required; and homeowners should submit photos to the MC before the modification project is started and after the modification is completed.

Refer to **Section 5.4.4** regarding enforcement.

1.3.3 SUBMITTAL AND FEES FOR ARB AND MC

Section 5 of this document outlines the required submittal procedure. The ARB and the MC may establish and charge reasonable fees for review of applications and may require fees to be paid in full prior to review of any application. The Board of Directors is responsible for establishing any fee requirements for MC (and La Plata may establish fee requirements for ARB).

2 Community Standards

2.1 TRASH AND RECYCLING

2.1.1 REQUIRED PROVIDER

The PCVA has selected a single waste and recycling removal provider for Pine Creek. All residents are required to use this service. Service is arranged through the PCVA.

2.1.2 CURBSIDE REQUIREMENTS

Trash containers and recycling bins may be placed at the curb no earlier than 6 p.m. the evening before pick up and shall be stored by 8 p.m. the day of service.

All trash and recycle containers shall be covered with a lid to avoid trash being blown from the container before pick up.

2.1.3 STORAGE

Trash containers must be stored in a garage or screened from view of streets and neighboring property. Refer to **Section 10.13** of the Declaration for additional information.

2.2 ANIMALS AND PETS

2.2.1 PET TYPES

No animals, livestock or poultry of any kind may be raised, bred, kept or permitted on any unit except domesticated dogs, cats and other common household pets which may be maintained and kept, but not bred for commercial purposes, within residences. Common household pets are defined as:

A domesticated animal, such as a dog, cat, bird, small indoor rodents, rabbits, fish, or turtle, that is traditionally kept in the home for pleasure rather than for commercial or agricultural purposes. Common household pets does not include reptiles (except turtles). If this definition conflicts with any applicable State or local law or regulation defining the pets that may be owned or kept in dwelling accommodations, the State or local law or regulation shall apply. This definition shall not include animals that are used to assist persons with disabilities.

2.2.2 NUMBER OF PETS ALLOWED

No more than an aggregate of two dogs or cats may be kept per household.

2.2.3 CONTROL OF PETS

No dog, cat or other pet shall be permitted to roam free outside of the owner's yard at any time. All pets must be on a leash and under the control of the owner when outside of the yard. Violators may be subject to a fine. Refer to **Section 10.8**, as amended, of the Declaration for additional information.

It is inappropriate for pets to be unsupervised in the front yard. Suitable electronic fence may be allowed in the rear or side yard only. Refer to **Section 4.15** for fencing requirements.

Pets are not permitted on the golf course at any time.

2.2.4 CLEANING UP AFTER PETS

Pet owners must immediately clean up after their pets, whether on their property or others' property, including common areas. Pet Waste stations are located within Pine Creek to assist owners in cleaning up after their pets.

2.2.5 PET NUISANCE

City law dictates that it is unlawful for any person to own or keep any pet, which by barking, howling, yelping, crying or other utterance, disturbs the peace and quiet of the neighborhood (City Law 11-1-115). Complaints should be directed to the appropriate Animal Control entity.

2.2.6 WILD ANIMALS

Homeowners should call the Colorado Division of Wildlife for the control or removal of wild animals.

2.3 PARKING

2.3.1 ALLOWED VEHICLES

All registered/licensed automobiles, Sport Utility Vehicles (SUV), trucks and vans rated $\frac{3}{4}$ ton or below, and motorcycles may park in Pine Creek Village.

Recreational Vehicles (RV's) and or sports equipment [example: Trailered Boats, Trailered All-Terrain Vehicles (ATV), etc.] shall be parked in a garage or off-site. RV's and Sports equipment may be temporarily parked in the driveway or in the street directly in front of the home for loading and unloading only over a short a period of time not to exceed 24 hours, and not to exceed 7 days per calendar year.

- Nuisance. Refer to Guidelines Section regarding nuisances. In consideration of neighbors, please keep RV and Sports vehicle parking to a minimum.
- A temporary exception may be granted for periods longer than 24 hours on a case-by-case basis. Contact the Community Manager to seek an approved variance from the Board of Directors.

All unlicensed vehicles (or any vehicle in a condition that is incapable of being operated on a public highway) may NOT be parked anywhere except in a garage. See table below on guidance for where vehicles should be parked per home and note that any unlicensed vehicle in a garage counts as part of the maximum total number of vehicles allowed per home.

Vehicles that are NOT allowed to park in Pine Creek for more than 48 contiguous hours include all commercial vehicles, trucks, and vans. Commercial vehicles may park for short periods of time only when visiting Pine Creek to perform service calls for homeowners.

- Commercial Vehicle is defined as a vehicle with any of the following characteristics: a rack for ladders or other equipment used in construction; equipment used to hold glass or pipes or any other maintenance implements in place; commercial equipment mounted on a loading platform; commercial signage or logo painted or attached on over 50% of the body (excluding the windows); utility company vehicles, any van or truck rated over ¾ ton (e.g. Ford F-350, Chevy 3500, Dodge 3500, etc.); and vehicles which do not fit wholly within a garage.
- Nuisance. Refer to Guidelines Section regarding nuisances. In consideration of neighbors, please keep street parking to a minimum.
- Temporary Exceptions are possible:
 - A temporary exception may be granted for periods longer than 48 hours on a case by case basis (example: home renovation or major repair).
 - Temporary parking in the driveway of commercial vehicles ¾ ton or smaller may be CONSIDERED by the Board on a case by case basis.
 - Contact the Community Manager to seek an approved variance from the Board of Directors.

2.3.2 PARKING ENFORCEMENT.

The PCVA may levy fines or assessments for violation of parking rules, including failure to follow the guidance described in this Community Guidelines. Reference CCR governing documents Section 10.5, page 32 that states “**All vehicles shall be subject to such reasonable rules and regulations as the Board of Directors may adopt.**”

Parking variances will not be granted by the Board of Directors unless there is a valid rationale for the situation preventing owners from complying with the stated guidelines. Inconvenience, including the need for homeowners to reposition multiple vehicles, will not be considered by the Board of Directors as a basis for a parking variance.

Please refer to **Section 10.5** of the Declaration for additional information.

The PCVA may also tow, at the expense of the owner, any vehicle in Pine Creek that violates the parking rules that is parked only a flag lot driveway or Private Road.

2.3.3 WHERE PARKING IS ALLOWED — RESIDENTS.

All vehicles (see Allowed Vehicles described above) shall be parked only in garages, driveways; and in exceptional cases one vehicle may be parked on the city street preferably in front of the resident home.

Residents must maximize use of Garages and Driveways before using on-street parking.

2.3.4 WHERE PARKING IS ALLOWED — VISITORS AND NON-RESIDENTS.

Street Parking. Non-residents may park on city streets preferably in front of the home being visited. On-street parking for non-residents is for short term use and limited to 48 hours unless prior arrangements are made with the PCVA Management.

Driveways and Garages. Visitors may also park in resident driveways or garages.

2.3.5 PARKING IN CUL-DE-SACS

Parking in cul-de-sacs is permitted on the INSIDE curb of the island ONLY. The outer lane in cul-de-sacs is designated as a fire-lane by the City of Colorado Springs to allow for emergency vehicle access.

- Refer to **Exhibit 1** below.
- Complaints on sidewalk blockage should be directed to Colorado Springs Police Department, Code Enforcement Division.

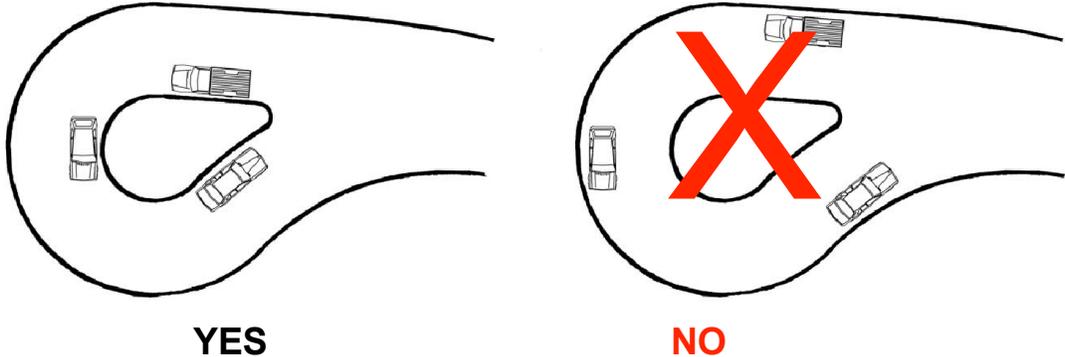


EXHIBIT 1: CUL-DE-SAC PARKING

2.3.6 WHERE PARKING IS NOT ALLOWED.

Do not block Sidewalks. Vehicles shall not be parked in such a way so as to block access to the street sidewalks; in accordance with the City of Colorado Springs requirements. Complaints on sidewalk blockage should be directed to Colorado Springs Police Department, Code Enforcement Division.

Do not park on unpaved areas. No vehicles shall be permitted on pathways or unpaved Common Area except for public safety vehicles authorized by the Board. Parking on unpaved surfaces, including lawns, is prohibited for all vehicles (reference the section above on Allowed Vehicles). Parking in side and rear yards is permitted only on paved driveways serving side or rear loading garages.

Do Not Park in Flag Lot Driveways (Private Roads). Vehicles shall not park on the private flag drive lots or private roads. This is in accordance with the City Code since Private Roads and Flag Lot Driveways are less than 22 feet in width per the Colorado Springs Fire Department requirements. Parking must be in compliance with sections above describing where parking is allowed. The PCVA may also tow, at the expense of the owner, any vehicle in Pine Creek that violates the parking rules that is parked on a Flag Lot Driveway or Private Road. Flag Lot Driveways and Private Roads are found across Pine Creek Village in these neighborhoods:

- LaBellezza
- Reverie
- Sage Hill Greens
- Glen Arbor
- Willow Glen

2.4 GARAGES

2.4.1 GARAGE USAGE.

The CCR governing documents (Section 10.5, page 32) state that “Automobiles and non-commercial trucks and vans shall be parked only in the garages or in the driveways, if any, serving the Units unless otherwise approved...” Therefore, homeowners are reminded that garages are designed for and should be used for vehicles and items that can be stored alongside vehicles (such as bicycles, lawn equipment, snow shovels, snow blowers, etc.). Garages should not be used as long-term storage lockers for non-vehicle items that preclude space to park vehicles.

2.4.2 GARAGE DOORS

Garage doors shall remain closed at all times, except during ingress and egress from the garage and such other reasonable periods of time, as determined in the PCVA's sole discretion.

2.4.3 GARAGE CONVERSIONS

No garage space may be converted to a living area without the prior written consent of the MC. In no case may the conversion reduce the number of parking spaces within a garage to less than two.

Refer to **Section 10.5** of the Declaration for additional information.

2.5 RESIDENTIAL USE

2.5.1 USE REQUIREMENTS

All residences shall be used exclusively for residential purposes. No business, trade or similar activity may be conducted within a residence, except as follows:

- a. The business activity conforms to provisions of the Home Occupation Ordinance of the City of Colorado Springs Zoning Code.
- b. The City has issued a Home Occupation Permit for the use and residence in question.
- c. The business activity does not involve door-to-door solicitation of Pine Creek residents.
- d. The business activity does not create additional traffic or parking of vehicles in the Pine Creek Community which thereby creates a nuisance to neighboring residents.

2.6 TEMPORARY STRUCTURES

No temporary house, dwelling, garage or out building shall be placed or erected on any lot. No mobile home, trailer home, travel trailer, camper or recreational vehicle shall be stored, parked or otherwise allowed to be placed on a lot as a temporary or permanent dwelling. Any variance must be obtained from the MC and/or the PCVA Board of Directors.

2.7 GOLF COURSE AREAS

2.7.1 ACCESS

Access onto the golf course property by anyone or their pets, other than players authorized by the Pine Creek Golf Club, **is prohibited.**

2.7.2 GOLF COURSE COURTESY

Residents, guests and their pets are obligated to refrain from any action that detracts from the playing qualities of the golf course. Refer to **Section 10.18** of the Declaration for additional information.

2.7.3 GOLF COURSE ACKNOWLEDGMENT

Lot owners adjacent to the golf course **accept both the benefits and detriments** of living next to the golf course. Refer to **Section 14.4** of the Declaration for additional information.

2.8 COMMON AREAS

Common areas in Pine Creek have been created for the enjoyment of the entire community. Some common areas are designed for active use and some are strictly for aesthetic pleasure. The PCVA reserves the right to adopt rules regarding the use of common areas.

2.8.1 PRIVATE PARK AND VILLAGE GREEN PARK

Use of the Private Park and the Village Green Park for organized sports practice is prohibited.

Certain portions of the common area may be designated as “exclusive” common area and reserved for the exclusive use or primary benefit of homeowners and occupants of specific residences or neighborhoods. All costs associated with exclusive common areas are assessed to the benefited residences.

Refer to **Section 2.2.4** for information regarding cleaning up after pets.
Refer to **Section 2.1** of the Declaration for additional information on common areas.

2.9 SIGNS

2.9.1 PERMITTED SIGN TYPES

Homeowners are restricted to the following types of signs only:

- a. Signs required by legal proceedings;
- b. Professional-quality security sign less than 12 inches by 12 inches;
- c. Political signs placed no earlier than 60 calendar days prior to an election and removed within 10 calendar days after an election; and,
- d. Real estate “For Sale” or “For Rent” advertising signs. Real estate signs must be removed within 10 days of the sale, lease, rent, or offer termination of the property.

2.9.2 PLACEMENT AND NUMBER

Signs are limited to front yard placement behind the street sidewalk only. The maximum number of signs is one per purpose per unit (including political signs for individual candidates and ballot measures). No homeowner sign of any kind may be placed in a window, within common areas, the golf course, or attached to any community sign, fence, village wall or residence.

2.9.3 SIGN APPROVAL

All homeowner signs other than those listed in Section 3.9.1 must be approved by the MC/PCVA Board before installation. The MC/PCVA Board reserves the right to restrict the type, size, color, lettering and design of signs. All signs shall be professionally prepared and lettered. Non-conforming signs may be removed by the PCVA.

Refer to **Section 10.4** of the Declaration.
Refer to the **City of Colorado Springs Zoning Code** for additional information.

2.10 VIEW IMPAIRMENT

No guarantee or representation is made that any view of, over or across any common area, the golf course or the mountains will be preserved without impairment. Property owners have no obligation to prune or thin any tree or other landscaping that impairs a view. In addition, property owners may add trees or other landscaping that impairs a view, subject to MC approval.

Refer to **Section 14.3** of the Declaration.

2.11 VISUAL IMPACT

Structures, excluding the original construction of a residence, must be constructed, located and screened to minimize the visual impact to adjacent properties, common areas and the golf course. “Visual Impact” is defined as the aesthetic appearance based on height, color, relationship to surrounding grade, impact on

views from windows of adjacent homes and proximity to the view fence. The MC has sole discretion in determining visual impact.

2.12 NUISANCES

2.12.1 RESIDENT ACTIVITIES

The use of hot tubs and recreation/sports equipment or any other activity after reasonable hours that causes a nuisance to neighbors is prohibited. In addition, MC, at its discretion, may withdraw approval of any hot tub or recreation/sports equipment where repeated offenses result in an ongoing nuisance.

Refer to **Section 10.9** of the Declaration for additional information.

2.12.2 BUILDING ACTIVITIES

Reasonable and normal construction and development activities shall not be considered a nuisance.

2.12.3 NUISANCES & NOISE COMPLAINTS

Any non-animal noise complaints that are reported will require audio visual proof supporting the complaint for the Association to proceed. All additional enforcement, once the required proof is submitted, will follow the Pine Creek Village Association Notice and Hearing and Covenant Enforcement Policy and Procedures.

Refer to **Section 10.9** of the Declaration for additional information on nuisances.

3 Maintenance

3.1 PCVA RESPONSIBILITY

In general, and as more specifically set out in the Declaration, the PCVA is responsible for maintaining all improvements within common areas, any property owned by the PCVA, street right-of-way landscape adjacent to PCVA property and any additional property as deemed necessary at the discretion of the PCVA Board.

The PCVA is responsible for maintaining the outside face and top of village walls and village view fences. The PCVA may choose to maintain other perimeter walls or fencing at the discretion of the Board.

Refer to **Section 5.1** of the Declaration for additional information.

3.2 HOMEOWNER RESPONSIBILITY

Homeowners are responsible for maintaining all improvements on his or her lot in a manner consistent with the "Community-Wide Standard" as defined in **Section 1.13** of the Declaration.

Homeowners are responsible for the maintenance of landscape, irrigation and sidewalks within the easements on their property. Lot owners are also responsible for the maintenance of landscape, irrigation and sidewalks in the street right-of-way from the back of curb to their property line.

Homeowners are responsible for keeping all sidewalks and driveways on their lot or within the right-of-way adjacent to their lot free from snow and ice within a 24 period after the end of a storm in accordance with the City of Colorado Springs requirements. To report violations, contact the City of Colorado Springs Code Enforcement.

Homeowners are responsible for maintaining yard lights on their lot in like-new condition. Damaged fixtures must be replaced with the identical type and color fixture. Refer to **Section 4.16**. Bulbs must be replaced promptly with a 100-watt, white incandescent bulb, or equivalent compact fluorescent bulb. No other color or wattage is allowed in Pine Creek. Light poles must be painted black (Sherwin Williams SW6258 Tricorn Black).

Wood and metal fencing, installed by the homeowner, must be maintained in like-new condition.

Refer to **Sections 5.2 and 5.4** of the Declaration for additional information.

3.3 RIGHT TO REMEDY

The PCVA has the right to remedy any maintenance or landscape issue of any homeowner or homeowner's association within Pine Creek, after appropriate notification. The PCVA may assess the costs to the homeowner.

4 Improvements Requiring Approval

4.1 HOUSE REPAINTING

Changes to the exterior color of a residence or accessory structure must be submitted for review and approval by the Modifications Committee.

Submittals must include:

- Paint color brand, name and number
- Sample of paint applied to home or 4' x 4' painted board placed in front of home
- Sample labeled Body, Body 2 (if appropriate), Pop Out, Trim and Accent
- Sample must be available to review at the home by the submittal deadline on the Thursday at 5 p.m. prior to the meeting.
- Photo of home.

Paint color must be applied using the color blocking scheme for the architectural style of the home. **All exterior paint color changes, including repaint in existing color scheme, must be approved by the Modifications Committee before paint application.**

4.1.1 HOUSES PAINTING TRIM, ACCENT AND GARAGE DOORS ONLY

Residents painting only the trim, accent and/or garage doors are required to paint a small sample on the existing surface(s).

4.2 DECKS, BALCONIES AND PATIOS

4.2.1 DESIGN

The design of elevated decks and balconies, including their material and color, must be consistent with and complementary to the architecture and color of the residence and shall not appear to be “tacked on.”

The vertical portion of decks (fascia, stair stringers, support columns) balconies or patios may be one or more of the following colors:

- a. The body color of the home. The MC can consider the house trim or fascia colors on a case-by-case basis.



Example: The deck matches the body color of the home.



Example: The deck matches the fascia color of the home.

- b. The MC may consider accent color of the home if one of the following criteria are met:
1. The accent color is present on at least one other architectural element, such as shutters or corbels and are on the same side the deck is constructed on.
 2. The accent color is from the dark brown and gray earth tones of the palette. Other colors may be considered on a case-by-case basis. Colors that are generally NOT acceptable include but are not limited to burgundies, blues and greens.



Example: The deck may be painted the same color as the shutters because they are on the same side of the house.

- c. A color that is complimentary to the overall color scheme of the home, the masonry material, or roof material that is used and is prominent on the same side the deck is constructed on.



Example: The deck blends with the masonry, roof material and overall color scheme.



Example: The deck compliments the overall color scheme of the home.



Example: The deck compliments the overall color scheme of the home.

- d. MC may consider on a case-by-case basis wrought iron/metal used on deck railings. The railing may match the body color of the home. The railing may also match the trim or fascia color of the home, or be a standard manufacturer color, or be a color that is complimentary to the overall color scheme of the home on a case-by-case basis.
- e. Wrought iron/metal railings may be the accent color of the home if one of the following criteria are met.
 1. The accent color is present on at least one other architectural element, such as shutters or corbels and are on the same side the deck is constructed on.
 2. The accent color is from the dark brown and gray tones of the palette. Other colors may be considered on a case-by-case basis. Colors that are generally NOT acceptable include but are not limited to burgundies, blues and greens.



Example: Black wrought iron is a standard manufacturer color.



Example: The dark brown wrought iron is complimentary to the overall color scheme.

4.2.2 ROOF MATERIALS

Roof materials for covered decks or patios may utilize either the same roof material as the main house roof, large-dimension wood lattice (2"x2" minimum) or awnings. Refer to **Section 4.5** below for acceptable awning treatment.

4.2.3 COLUMNS AND SUPPORTS

Columns and supports should appear substantial and in proportion to the overall building mass. The finished support shall be a minimum of 6 inches in section and preferably incorporate architectural elements matching the architectural style of the home.

4.2.4 PATIO ENCLOSURES

Patio enclosures must match the architecture, material and color of the home. Patio enclosures on perimeter lots must incorporate architectural details appropriate to the architectural style of the home. Refer to **Section 4.3** for additional information.

4.2.5 SETBACKS AND LOT COVERAGE

Refer to the City of Colorado Springs Zoning Code for deck, balcony and patio setback and lot coverage requirements. In no case may a deck, patio or paved surface be located within 10 feet of the golf course property line.

4.2.6 EXTERIOR STAIRS

Exterior stairs must be designed to minimize visual impact. Refer to **Section 2.11** for the definition of “visual impact”. Stairs and landings must be integral to the deck’s design and not project out into the yard. Refer to **Exhibit 2** below.

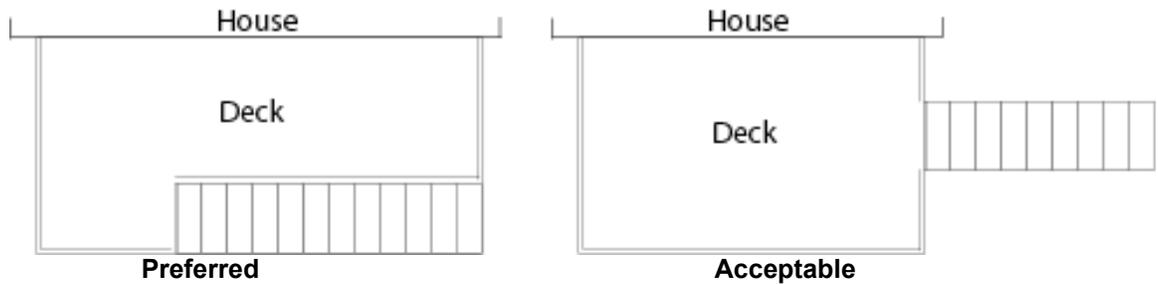


EXHIBIT 2: EXTERIOR STAIRS

4.3 HOUSE ADDITIONS

4.3.1 REQUIREMENTS

Any addition or modification to the exterior appearance of a residence must match the original structure in architectural style, mass, material and color. Additions and modifications will be reviewed on a case-by-case basis and must be approved by the MC before obtaining an El Paso County Regional Building Department (RBD) or City of Colorado Springs permit. Any changes required by RBD or the City must be resubmitted to the MC for approval. Refer to **Section 3** of the Design Guidelines for architectural requirements.

4.3.2 GARAGE CONVERSIONS

Refer to **Section 2.4.3** regarding garage conversions.

4.3.3 ROOFING REPLACEMENT (TILE OR SHINGLES)

Any replacement of the roofing material with both the exact same manufacturer type and color or a new type and color requires MC review. All submittals should include a color photo of the home/roof along with a brochure showing the type and color of replacement chosen. **Owner must receive Modification Committee approval prior to the work being done.**

4.4 DRIVEWAYS

Paved driveway width shall not exceed the width of the garage face. Decorative rock mulch, brick pavers and stamped concrete may be placed along the driveway from the garage to the back of the street sidewalk, at a maximum of 3 feet in width. Decorative rock mulch, brick pavers and stamped concrete must be colored in order to be distinguished from the color of the driveway. Colored concrete on driveways must complement the color scheme of the home.

4.5 WINDOW COVERINGS, AWNINGS AND STORM DOORS

4.5.1 WINDOW COVERINGS

Window coverings facing a street, common area or the golf course must appear permanent and maintained in like-new condition. Temporary coverings are allowed up to 30 days after move-in. Reflective window tint is prohibited.

4.5.2 REPLACEMENT WINDOWS

Window replacements (if different than the existing window(s) being replaced) require review prior to proceeding and will be considered on a case-by-case basis.

4.5.3 AWNINGS

Awning design must complement and integrate with the architecture and not appear to be “tacked on”. Awnings are permitted on side and rear elevations only. However, awnings on the front elevation will be reviewed on a case-by-case basis.

Acceptable awning treatment includes solid color, treated canvas fabric. The color must complement and not contrast with the residence. Unacceptable awning treatments include thin wood lattice, metal, plastic and untreated or striped fabric. Awnings must be maintained in like-new condition.

4.5.4 SECURITY SYSTEMS

Security window bars and roll-up coverings are not permitted where visible from a street, common area or the golf course. Decorative grills complementary to the architectural style of the residence will be reviewed by the MC on a case-by-case basis.

4.5.5 STORM DOORS

Storm doors must compliment the door color or the door trim color of the home. Door styles will be reviewed by the MC on a case-by-case basis.

4.5.6 FRONT DOORS

Front door replacements will be reviewed on a case-by-case basis.

4.5.7 LAWN TENTS

Lawn tents may not be used as a permanent structure/cover on rear decks. Tents may be in place for no more than 7 days.

4.6 AIR CONDITIONING AND EVAPORATIVE COOLING UNITS

Owner(s) must obtain Committee approval prior to initial installation of any air conditioning unit. Air conditioning and evaporative cooling units are for residential cooling purposes only and limited to one unit per residence. The unit shall be located at ground level, adjacent to the residence they serve, and screened from public view. A unit located on roofs, in windows or attached to the side of a building are prohibited.

In a request for additional units, the Committee may consider any relevant factor regarding residential cooling, including but not limited to, total BTU capacity of all units, square footage of the home, compliance with the applicable building codes and safety standards, and noise.

4.7 MECHANICAL EQUIPMENT & SOLAR SYSTEMS

4.7.1 EXTERIOR MECHANICAL DEVICES

All mechanical and electrical equipment, including but not limited to air conditioning, heating and soft-water tanks, cable television boxes, security apparatus, transformers, telephone boxes, and electric and gas meters, must be integrated into a building’s design, screened from public view or, when appropriate, enclosed in a suitable accessory structure. Radon mitigation systems shall be painted to match the surface to which they are attached or from which they project

4.7.2 SOLAR PANELS

All renewable energy devices will be reviewed on a case-by-case basis in accordance with the Colorado Statute #38-30-165.

4.8 SATELLITE/ COMMUNICATION EQUIPMENT

4.8.1 SATELLITE DISHES

In accordance with the Telecommunications Act of 1996, satellite dishes measuring 1 meter in diameter or less must be installed such that it does not impair acceptable signal reception. Dishes shall be located at the lowest possible level, screened from public view and placed in the rear or side yard of the lot, as long as such placement does not impair the signal or unreasonably increase the cost of installation, maintenance or use. No satellite dish shall be attached to any community wall or fence. Owners must register their satellite dish with the PCVA via a registration form available from the PCVA or online at www.pcva.org. Refer to **Section 9.4** of the Declaration for additional information. Any required cables or hardware for installation of dish must be painted to match the surface to which they are attached.

4.8.2 OTHER EQUIPMENT

Outdoor antennas and satellite dishes greater than 1 meter in diameter are strictly prohibited. The appropriateness of any other external antennas shall be determined on a case-by-case basis.

4.9 GUTTERS, DOWNSPOUTS AND VENTS

4.9.1 DESIGN

Gutters and downspouts shall be integrated into the design of the residence and appear as an unobtrusive architectural element. Downspouts shall be located on vertical members in inconspicuous locations.

4.9.2 COLOR REQUIREMENTS

All gutters, downspouts, flashing, sheet metal, radon mitigation systems, vent stacks and pipes shall be painted to match the surface to which they are attached or from which they project.

4.9.3 RAIN BARRELS

DEFINITION: Rain barrel is a storage container, that **MUST** be sealable and **MUST** be located above ground that collects water from a down spout.

Rain barrels can only be used on a single-family residence or multi-family residence with four (4) or fewer units. The water must be used for outdoor purposes. Each residence can have a maximum of two (2) rain barrels. They can only be placed under the downspouts in the back or side yards, and cannot be visible from the street. The rain barrel color **MUST** blend with the main color of the house.

4.10 ACCESSORY STRUCTURES, SHEDS, GAZEBOS AND ARBORS/PERGOLAS

4.10.1 DEFINITIONS

Accessory structures are defined as completely enclosed structures having a door and/or windows. Examples include, but are not limited to: garden or utility sheds, playhouses, greenhouses and detached garages. Gazebos and pergolas are defined as open or partially enclosed structures that are not enclosed with either doors or windows, screens, drapes and shades.

4.10.2 DESIGN REQUIREMENTS

All accessory structures/sheds must match the architectural style, material and color of the residence on that home site. Accessory structures must be constructed of new materials and maintained in like-new condition. The maximum size of any accessory structure (except detached garages) is 120 square feet and 9 feet in height.

A). ACCESSORY STRUCTURE SPECIFICATIONS

- a. Size not to exceed 120 square feet; no one side dimension greater than 12 feet and a maximum height of 9 feet.
- b. New construction and pre-manufactured allowable, however must match in material to include stucco, siding and tile or shingle roofing. No plastic or resin sheds are allowed.
- c. Masonry application (if prevalent on home) will not be required.
- d. Matching architecture includes mimicking the window size and style, window/door trim configuration, roof pitch and overhangs.
- e. Screening by fencing and/or landscaping may be required.

PLEASE REFER TO NEIGHBORHOOD COMMUNITY GUIDELINES ADDENDUMS FOR FURTHER SHED GUIDELINES.

Gazebo architecture must be consistent with and complementary to the style, material, and color of the house. The maximum size of a gazebo is 100 square feet and 12 feet in height.

4.10.3 LOCATION

Accessory structures and gazebos are not permitted in front yards. In addition, they are not permitted within the 5-foot side or 7-foot rear public easements. Refer to **Section 4.17. Arbors and pergolas close to or attached to the house should be painted to match the body color or trim color of the home. Arbors and pergolas not attached or close to the house may be a natural wood color.**

Structures must be constructed, located and screened to minimize the visual impact to adjacent properties, common areas and the golf course. Refer to **Section Error! Reference source not found.** for the definition of “visual impact”. Structures facing corner lots must be screened from the side street with evergreen trees.

4.10.4 REVIEW REQUIREMENTS

Due to their uniqueness, all submittals will be reviewed by the MC on a case-by-case basis. Refer to **Section 9.4** of the Declaration for additional information.

4.11 HOT TUBS/SPAS AND POOLS

4.11.1 DESIGN REQUIREMENTS

Hot tubs may be incorporated into decks or patios or may be freestanding; however, all freestanding units must be treated to visually blend with the residence, or be adequately screened. Screening, including landscape buffers, may be required at the discretion of the MC to minimize visual impact. Refer to **Section Error! Reference source not found.** for the definition of “visual impact”.

4.11.2 LOCATION

Hot tubs and pools are permitted in rear yards only and must be designed and located to minimize visual impact and potential nuisances to adjacent properties, common areas and the golf course. **ALL HOT TUBS WILL BE REVIEWED ON A CASE-BY-CASE BASIS.**

Swimming pools may be in-ground or above ground and must set back a minimum of 10 feet from any property line.

4.11.3 NUISANCES

Refer to **Section 2.12** regarding nuisances. In consideration of neighbors, please keep noise to a minimum.

PLEASE REFER TO NEIGHBORHOOD COMMUNITY GUIDELINES ADDENDUMS FOR FURTHER HOT TUB GUIDELINES.

4.12 RECREATION AND SPORTS EQUIPMENT

4.12.1 MAXIMUM HEIGHT

The maximum height of any recreation or sports equipment for residential units (except basketball backboards) is 8 feet. The MC may consider equipment height greater than 8 feet on a case-by-case basis using the following guidelines:

- (a) Canopies (canvas or vinyl) must be solid green in color. Canopies may be canvas, vinyl or wood. Canvas/vinyl canopies must be solid green in color; wood must match the stain of the recreation structure.
- (b) Major structural elements do not exceed 8 feet and the total height of the structure does not exceed 11 feet.
- (c) The structure is placed within the closest 1/3 portion of the rear yard to the house.
- (d) The visual impact to adjacent properties, common areas and the golf course is minimized.
- (e) The maximum height of a sports court light pole is 17 feet (refer to Paragraph 2.16.3 for additional lighting requirements).

The MC may consider trampolines with side safety nets greater than 8 feet tall on a case-by-case basis where the support posts and nettings are a color and mass that minimizes visual impact. Refer to **Section** Error! Reference source not found. for the definition of “visual impact”. Height is measured to the highest point of the equipment.

4.12.2 LOCATION

Recreation and sports equipment (except basketball backboards) is not permitted in front or side yards. Equipment location must minimize the visual impact to adjacent properties, common areas and the golf course. Recreation and sports equipment should be kept 10' from all property lines. When equipment is in a fenced yard, the equipment must be kept out of the easement only. Refer to **Section** Error! Reference source not found. for the definition of “Visual Impact”. Screening may be required at the discretion of the MC.

Basketball backboards are permitted in front and rear yards only. Basketball backboards located in front yards must be PERMANENTLY mounted on a pole on the exterior side of the driveway approximately halfway between the sidewalk and the front of the residence. Backboards may not be located along any sidewalk or street. Backboards attached to a residence and portable backboards are not permitted in front yards. Backboards located in rear yards must be set back a minimum of 10 feet from a property line.

Concrete areas in rear yards shall be no greater than 30% or 1500 sq ft., whichever is smaller. Screening will be required.

4.12.3 COLOR

Color of all recreation and sports equipment must be approved by the MC. Equipment visible from roadways, common areas or the golf course is limited to muted colors. Solid green is the preferred color for canvas canopies on play equipment. Bright colors are not allowed on trampoline poles.

Basketball backboards must be white, off-white or clear. Support poles must be black (similar to the yard light pole color) or dark green (similar to the view fence color).

4.12.4 MATERIALS

All equipment must consist of new materials and maintained in like-new condition.

4.12.5 REVIEW REQUIREMENTS

All recreation and sports equipment must be approved by the MC before installation. Trampolines with side safety nets and sports courts will be reviewed by the MC on a case-by-case basis based on visual impact. Refer to **Section Error! Reference source not found.** for the definition of “Visual Impact”. Photos or brochures of the equipment shall be included with the application for approval.

4.12.6 PUTTING GREEN

Putting greens must conform to the following specifications:

1. High-grade weed barrier.
2. Sand, breeze or similar material for the infill.
3. Green artificial turf only.
4. Edging may be stone, brick, fringe, steel or concrete. Other types of edging will be reviewed on a case-by-case basis.
5. No indoor/outdoor carpeting.
6. Must not impede lot drainage or concrete ponding.
7. The green shall have a contoured look.
8. No sub base materials or infill may be visible.
9. Sub base must be sufficiently compacted as not to cause visible irregularities. MC suggests using a professional compactor.
10. The green shall not have creases or bubbling.
11. Screening may be required on a case-by-case basis.

4.12.7 NUISANCES

Refer to **Section 2.12** regarding nuisances. In consideration of neighbors, please keep noise to a minimum.

4.13 LANDSCAPING

While the vision and values of Pine Creek have always promoted a respect for our natural resources, drought conditions have prompted the need to provide better conservation management practices. Accordingly, portions of these guidelines have been revised to incorporate measures to address water conservation for those wishing to convert existing landscape to Xeriscape.

4.13.1 WATER MANAGEMENT

Xeriscape landscaping is acceptable and each submittal will be reviewed on a case-by-case basis.

4.13.2 LANDSCAPE TERMINOLOGY

- a) There are some technical words and phrases that are helpful in the planning, installation and maintenance of landscape. **Appendix B** lists those words and phrases.
- b) Colorado Statute 37-60-126 established the state water conservation and drought mitigation plan. This plan defines Xeriscape as “the principles of landscape planning and design, soil analysis and improvement, appropriate plant selection, limitation of turf area, use of mulches, irrigation efficiency, and appropriate maintenance that results in water use efficiency and water-saving practices”. **Xeriscape is not “zero-scaping”** where the property is completely covered with rock and devoid of any plant or mulch materials.

4.13.3 MINIMUM PLANT MATERIAL SIZES

- Deciduous Trees: 2-inch caliper
- Evergreen Trees: 5-foot height
- Ornamental Trees: 1½-inch caliper
- Shrubs: 5-gallon container

Smaller multi stem trees will be reviewed by the MC on a case-by-case basis for lots that exceed the required minimum quantity and for interior side and rear yard locations.

4.13.4 PLANT MATERIAL SELECTION

All trees and shrubs are to be selected from the list of Approved Plant Materials in **Appendix A**. Due to the large variety and changing availability of materials, plants not on this list will be considered on a case-by-case basis. Fruit trees shall be located so that the canopy at maturity does not cross any property line.

4.13.5 TURF SELECTION & INSTALLATION & MAINTENANCE

No artificial turf is permitted in front and visible side yards. Requests for artificial turf for specific back yard situations will be reviewed on a case-by-case basis and must be kept in a like new condition.

- a) The recommended use of natural turf in **all** “front” and “side and rear” yards is a minimum of 20% and a maximum of 50%. Artificial turf will be considered in the rear yard only, refer to **Section 4.13.7**.
- b) Natural turf is not permitted on slopes that are 4:1 (one foot of vertical rise to four feet of horizontal run) or greater.
- c) Soil Amendment is required for all new natural turf areas.
- d) Alternate natural turf options may be considered on a case-by-case basis. A sample of the turf must be provided for review.
- e) Natural Turf Setback
Natural turf shall be kept a minimum of 3 feet from all foundations.
- f) Soil Amendment
All natural turf areas **will be amended** with a minimum of 5 cubic yards per 1000 square feet of an acceptable soil amendment (either a peat moss/compost mixture, or a peat moss/compost/manure mixture), mixed to a depth of 3 to 4 inches.
- g) Turf shall be watered, cut, and weeded during the growing season. Dead turf must be replaced or reseeded.

4.13.6 FRONT YARDS AND CORNER SIDE YARDS

These areas must meet landscaping requirements as stated below in Paragraphs 4.13.9 & 4.13.10, respectively.

4.13.7 REAR AND SIDE YARDS

Bluegrass (or equivalent) is acceptable in these areas and other low water use turf will be considered. Native seed will be reviewed by the MC based upon the following criteria, including

but not limited to: location, visibility (from street, golf course and open space), seed mixture, sufficient irrigation, and long-term maintenance.

4.13.8 STREET TREE LANDSCAPE AND PARKWAYS

A semi-formal planting of deciduous street trees is required within the “street tree-planting zone” along all residential streets in Pine Creek. For lots having a detached sidewalk, the “street tree-planting zone” is defined as the area between the curb and the sidewalk (also known as the parkway). Street trees shall be centered between the walk and curb. For lots having an attached sidewalk, the “street tree-planting zone” is defined as a 7-foot strip from the back of sidewalk. Street trees shall be located between 4 feet and 7 feet from the back of sidewalk. Refer to **Exhibit 3** below.

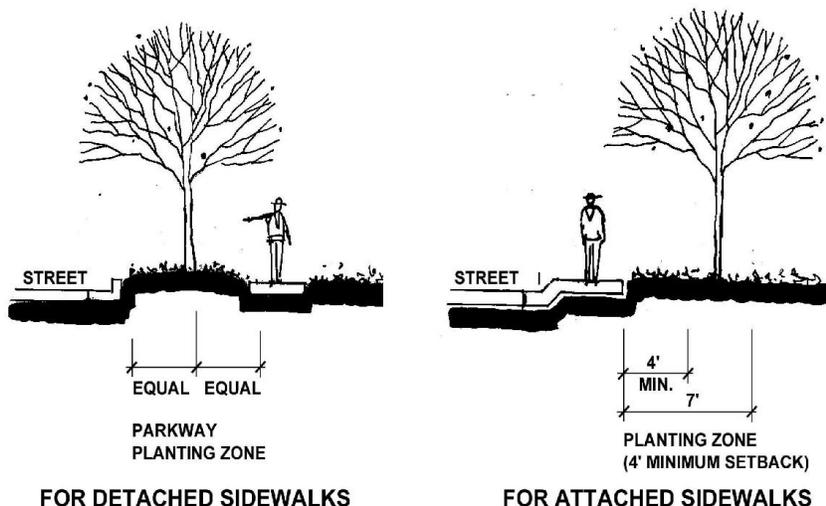


EXHIBIT 3: STREET TREE PLANTING ZONES

The number of street trees required per lot is based on street frontage as measured along the street right-of-way indicated on the recorded subdivision plat. This applies to both front yards and corner side yards.

LOT FRONTAGE	MIN. TREES REQUIRED
• Up to 60 feet	1
• 61 to 90 feet	2
• 91 to 120 feet	3
• 121 feet or greater	4

Street trees shall be spaced a minimum of 20 feet on-center and a maximum of 35 feet on-center based on genus and species to provide for adequate canopy growth at maturity.

Street trees shall be selected from the street tree list under Deciduous Trees in **Appendix A**.

All parkways shall be planted with bluegrass (or equivalent) turf and irrigated. Rock mulch is permitted around utility boxes, to a maximum width of 2 feet. The ARB or MC will review proposed plantings in constrained parkway areas on an individual basis. A small ring of wood mulch up to 4 feet in diameter should be used if the rock mulch is being used in the parkway around street trees.

Xeriscape requests for the parkway areas will be reviewed on a case-by-case basis. All submittals shall use a high density of low growing Xeriscape type plants and boulders in conjunction with the proposed landscape material. Unplanted rock or wood mulch areas are not permitted in the parkway plants that are 24-inch or lower are preferred where vehicle or pedestrian visibility may be

impaired. Street trees located in a Xeriscape parkway using rock mulch should be encircled with a small ring of wood mulch as defined in paragraph 2.13.9 e). Boulders are allowed in addition to some plants, and limited to a maximum size of 24 inches x 24 inches x 24 inches.

4.13.9 FRONT YARD LANDSCAPE

In addition to the street tree landscape requirements, front yards shall be fully landscaped using the following minimum plant quantities:

<u>LOT SIZE</u>	<u>MIN. PLANTING REQUIREMENT</u>
• Up to 12,000 square feet	2 trees, 8 shrubs and 15 perennials
• 12,000 square feet or greater	3 trees, 12 shrubs and 25 perennials

Planting requirements on cul-de-sac and flag lots will be reviewed by the MC on a case-by-case basis.

Natural turf areas are recommended at a minimum of 20% and a maximum of 50% of the non-paved area of the front yard (excluding the turf requirement for parkways, Section 4.13). The recommended minimum width of a turf area is 4 feet.

All exposed house foundation visible from the street, common areas or the golf course must be screened using a mixture of medium to large shrubs to provide substantial coverage within a 2-year growth period.

Unplanted rock or wood mulch areas are not permitted in the front yard. Shrubs shall be spaced a maximum of 4 to 6 feet on-center depending on species. The minimum width of an entry walk is 4 feet.

4.13.10 CORNER SIDE YARD LANDSCAPE

- a) Natural turf areas are recommended at a minimum of 20% and a maximum of 50% of the non-paved area of the corner side yard (excluding the turf requirement for parkways, Section 4.13.8). The recommended minimum width of a turf area is 4 feet.
- b) All exposed house foundation visible from the street, common areas or the golf course shall be screened using a mixture of medium to large shrubs to provide substantial coverage within a 2-year growth period.
- c) Unplanted rock or wood mulch areas are not permitted along corner side yards. Shrubs shall be spaced a maximum of 4 to 6 feet on-center depending on species.
- d) Xeriscape landscape with rock mulch will require perennials or shrubs be planted a maximum of 4 to 6 feet on-center depending on species.

4.13.11 SIDE AND REAR YARD LANDSCAPING

Turf areas are recommended at a minimum of 20% and a maximum of 50% of the non-paved area of the yard. The recommended minimum width of a turf area is 4 feet.

Where no side yard fencing exists, landscaping must blend with the adjacent landscape to avoid delineating property lines. Xeriscape renovation requests will be reviewed on a case-by-case basis.

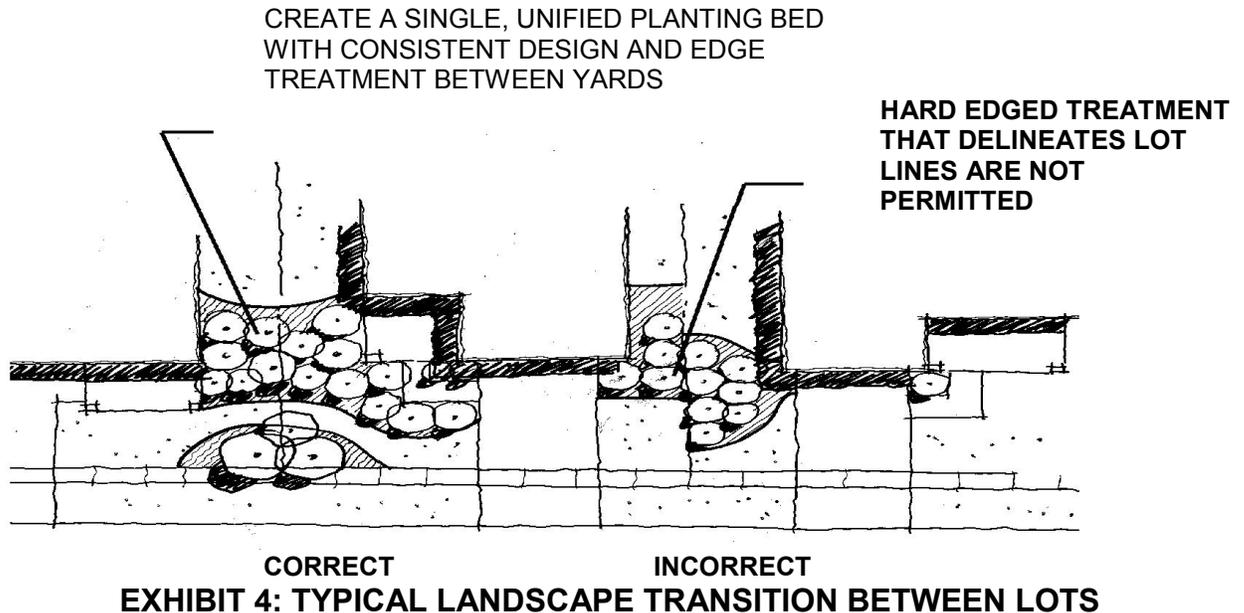
Refer to **Section 4.14** for additional requirements adjacent to golf course and common areas.

4.13.12 LANDSCAPE TRANSITION BETWEEN LOTS

Landscaping between lots shall present a uniform appearance. Tree and shrub groupings shall blend, and hard edges such as mow strips, edging and walls between lots shall be minimized.

Refer to Exhibit 4.

Refer to **Section 4.13.15** for mulch requirements on abutting lots. This requirement is waived for abutting lots separated by a solid wood fence. Xeriscape requests must use a 2 to 6 inches high density of low growing Xeriscape ground cover where transitioning with neighboring turf. Other transition areas will be reviewed on a case-by-case basis.



4.13.13 LOT DRAINAGE

Positive drainage away from all dwellings shall be provided at completion of initial construction of the home by the builder and maintained thereafter by the homeowner. Homeowner shall not alter the approved, engineered drainage patterns of the lot as this may cause flooding or cause erosion to adjacent properties.

Swales with a minimum of 2% slope shall be maintained on side property lines for proper drainage.

Roof downspouts shall be designed to carry water away from house foundations. Where possible, downspout drainage shall be directed towards the front yard to flow into internal streets. Downspout outlets shall avoid surface erosion.

4.13.14 IRRIGATION DESIGN

An automated, underground irrigation system is required for all yards. Overhead spray irrigation is recommended for turf areas and perennial/annual beds only. Drip irrigation is strongly encouraged for shrub beds to conserve water. Drip irrigation tubing must be buried beneath rock or wood mulch cover. Irrigation shall be designed and maintained to avoid over-spray onto any paved surface, wall or fence. Water efficient irrigation system parts and maintenance practices shall include, but not be limited to, the following:

- Multi-programmable irrigation controller
- Master valve
- Rain sensor
- Check valves
- Routine maintenance of system

Irrigation plans do not require ARB or MC review and approval.

4.13.15 ROCK AND WOOD MULCH AREAS

- a. Shrub and perennial beds should be lined with landscape fabric or other acceptable weed barrier for rock mulch. Wood mulch not required to have a weed barrier.
- b. A similar type and color of mulch must be used in abutting planting beds on adjacent lots to unify the landscapes. The use of two different colors of rock mulch in the same bed will be reviewed by the MC on a case-by-case basis.
- c. Rock mulch size shall be a minimum of ¾ inch diameter and a maximum of 1 1/2 inch diameter. Smaller mulch may be used in sandboxes and larger sizes may be used in drainage and accent areas as specifically approved by the MC. Larger rock, 4 inches to 8 inches in size, may be used in a creek bed as an accent and/or drainage area no wider than 3 feet on average. Sparse plantings may be required to minimize impact. Acceptable rock mulch color includes natural, earth-toned colors. **Prohibited rock mulch includes: lava rock, white marble, black granite or any similar types and colors to these materials. Dyed or painted rocks are also prohibited.**
- d. Wood mulch must be of professional grade, consistent in size and natural in color pigment and needs no weed barrier.
- e. All mulched areas adjacent to turf shall utilize a metal, concrete, brick or other professional quality edger to define the planting bed and provide a clean maintenance edge. Other types of edging materials will be reviewed on a case-by-case basis. Recommended edger height is 2 to 3 inches above grade.

4.13.16 EXTERIOR DECORATIONS

- a. Lawn decorations shall be located and screened to blend with the landscape and architecture of the home. Because of the highly variable and site-specific nature of these items, lawn decorations will be reviewed by the MC on a case-by-case basis. The MC may disapprove a request for lawn decorations based on the number of lawn decorations that may already exist at the unit.
- b. All lawn decoration lighting shall comply with the landscape lighting guidance presented in **Section 4.16.**

4.13.17 FLAGS, FLAG POLE INSTALLATION AND LIGHTING

- a. US, State and military service flags are allowed with a design review request submittal.
- b. Flag Poles are allowed with a design review request submittal. Pole height shall not exceed 24 feet.
- c. Solar or low voltage lighting shall be installed to illuminate the flag at night as required by Title 36 U.S.C. §174 and comply with **Section 4.16.**

4.13.18 VEGETABLE GARDENS

- a. Gardens shall be located a minimum of 5 feet from the house foundation and 10 feet from any property line. **GARDENS MUST BE IN REAR YARDS.**
- b. Gardens shall not be located where lot drainage patterns would be impaired.
- c. The maximum garden size allowed is 200 square feet.
- d. Raised planters or garden boxes are acceptable but must minimize visual impact. Muted, earth-tone colors are required. Refer to **Section Error! Reference source not found.** for the definition of “Visual Impact”. Additional screening may be required at the discretion of the MC.
- e. Plants may not exceed 4 feet tall or the height of an adjacent wall or fence, whichever is greater.

Dead plant material must be removed or mulched into the soil at the end of the growing season.
- f. Greater flexibility may be given where gardens are located within fully wood fenced yards.
- g. A garden should be automatically irrigated on its own drip zone for water efficiency.
- h. Smaller garden fencing around a specified area will be allowed, and be lower than the interior wood fence or the view fence. Fencing shall be 5 feet from the home; if fencing is less than 5 feet from the home, it will be required to be painted the body color of the home to minimize visual impact. Fencing material will be reviewed on a case-by-case basis.

4.13.19 LANDSCAPE INSTALLATION TIMING

A landscape plan for the entire yard must be submitted to the ARB for approval no later than 30 days after closing for **NEW CONSTRUCTION ONLY**. All landscaping shall be installed no later than 90 days after closing, weather permitting. Extensions must be requested in writing. Lots not landscaped within this time frame may be subject to sanction. The typical planting season runs from April 15th to October 15th.

4.14 GOLF COURSE/COMMON AREA TRANSITION ZONE

4.14.1 VISION

Pine Creek was designed to integrate with the extensive golf course and common areas within the community. In order to preserve and enhance these natural amenities, a number of requirements were established such as the transition zone for adjacent lots. The intent of the transition zone requirements is to soften the edge between the native areas and manicured yards. This section will guide homeowners through the design and installation process to help achieve the community's goals.

4.14.2 BENEFITS

The use of native materials adjacent to greenbelts, open space and golf courses is a common practice. Landscape beds without sod require lower maintenance once established. In addition, the transition zone supports the City of Colorado Springs Landscape Ordinance in the following ways:

- **Water Conservation-** Conserve water resources using Xeriscape principles.
- **Aesthetics-** Enhance the regional landscape character of the City through the incorporation of native and compatibility introduced plants.



Example: The Transition Zone acts as a gentle buffer between native and manicured areas.

4.14.3 TRANSITION ZONE REQUIREMENTS

Where a lot abuts a non-irrigated or “native” portion of the golf course or common areas, an undulating transition zone shall be created on the lots to blend into the golf course or common area. This line should be 10 feet from the rear fence at the side property line and may meander as close as 7 feet to the rear fencing within the lot. Creating an area greater than 10’ is permitted; planting requirements will be enforced. Xeriscape is allowed in the transition zone and will be reviewed on a case-by-case basis.

A combination of trees, shrubs, perennials, native grasses and wildflowers are required within the transition zone.



Example: Use an organic, meandering boundary to create a soft, natural edge.



Example: A great variety of planting materials is encouraged.

One tree per 30 linear feet of lot frontage is required within the transition zone. Trees may be clustered or evenly spaced, and they may be evergreen, deciduous or ornamental species. Refer to **Section 4.13.3** for size requirements.

Evergreen and deciduous shrubs add vertical interest and year-round color to the transition zone. Shrubs shall be spaced a maximum of 4 to 6 feet on-center. Placement shall not create a continuous vertical hedge with the native area. Refer to **Section 4.13.3** for size requirements.

Native grasses may be used as the primary groundcover with ornamental grasses as accents. Perennials, wild flowers or seed may be used to add color. Plant material should be planted extensively enough to allow for substantial coverage of the transition zone. Refer to **Section 4.13.4** for additional information.

Wood mulch and rock mulch may be used as a groundcover. Use of mulch in the transition zone requires plantings to provide visual interest. Weed barrier material is recommended with rock mulch (wood mulch is dependent on the area and if it is affected by wind/erosion). Mulch should be a minimum of 3 inches deep and shall not be allowed to gather above the bottom of the view fence. Refer to **Section 4.13.15** for mulch requirements.

Rock drainage channels perpendicular to the rear property line are allowed where large amounts of water flow through the transition zone. 4 to 8 inch-diameter rock cobble may be used. Drainage channel widths that exceed 3 feet will be reviewed on a case-by-case basis.

Large boulders may be used sparingly to add interest without creating a manmade appearance or detracting from the otherwise native plantings.

It is recommended that large native seed areas, within the transition zone, are on their own irrigation zone to assure seed establishment and the ability to turn off water after seed is established.



Example: Established transition zone consists of the same plant materials as the native edge of the golf course.



Example: The transition zone does not require identical plant materials as the native area behind it. This is a mixture of shrubs planted at a correct density of material.



Example: Layout before native grasses take root. More plantings would be needed if the groundcover were wood mulch.

4.14.4 NATIVE SEED IMPLEMENTATION

Native seed recommendations for establishment:

- Apply organic matter (compost, decomposed cow manure, high-grade topsoil, an average of approximately three cubic yards) to the soil within the transition zone and till into a minimum of 3 to 4 inches of soil.
- Rake transition zone smooth and apply native seed mix at recommended rate. The “Foothills Mix” is recommended. Other seed mixes may be used, however, mixes containing a majority of bluegrass or fescue species are not considered “native”. Wildflower seed mix may be added to the native seed mix for added color.
- Rake seed into top ¼ inch of soil and fertilize. Apply erosion control fabric if erosion is a concern while getting seed to establish. Lay and pin down erosion control fabric per manufacturer’s instructions.
- Water seedbed regularly to promote seed growth.
- Native seed area must be irrigated with an underground system.
- Maintain and weed the seeded area regularly. Over-seed the bed (with the same native grass mix) as necessary. Native seed shall be reintroduced wherever it has not taken root.
- Native seed area must grow naturally and be mowed twice a year with no more than 6 months separation between mowing. Seed areas must be kept free of noxious weeds. Seed area must be maintained to avoid appearing unkempt.
- Be patient. The native seed can take between 6 and 18 months to fully establish itself. Maintenance, including spring fertilization, is a key factor in the speed and success of the establishment.

4.14.5 VIEW FENCE RELATIONSHIP

No dirt or ground cover may be backfilled against the view fence. Finish grade shall have a smooth transition adjacent to the fence. Plant material touching the painted metal will need to be trimmed during repainting and maintenance of the fence.

4.14.6 EXAMPLES



Wood mulch installed too thick and is gathering above grade along the view fence. This is not permitted.



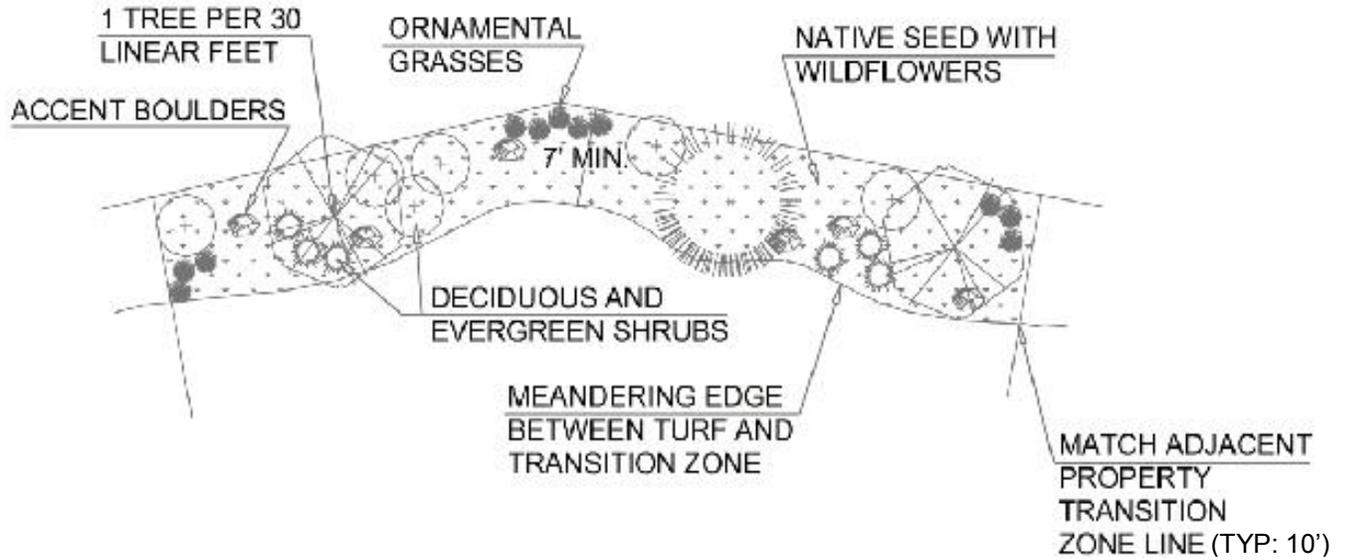
Native Grass Ground Cover

- *Complementary native grass used adjacent to native areas.*
- *Native grasses should be allowed to grow naturally.*
- *Wood mulch is confined to the base of trees and shrubs only.*

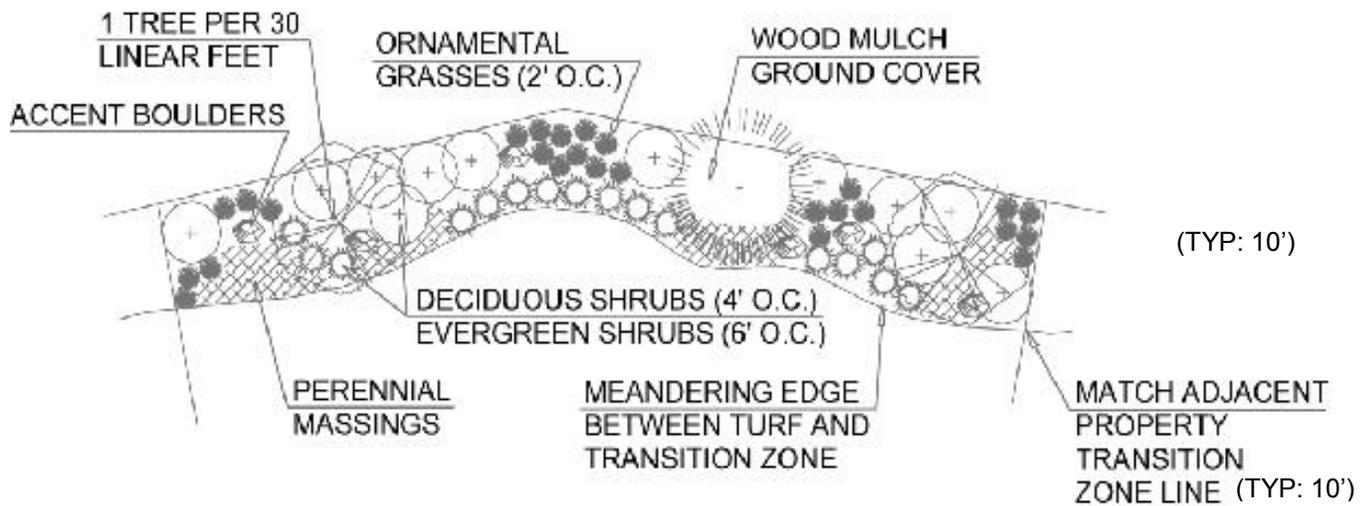


Wood Mulch Ground Cover

- *Wood mulch is used as a ground cover.*
- *Proper plant spacing provides substantial coverage of mulch in 2 years.*



NATIVE GRASS GROUND COVER



WOOD MULCH GROUND COVER

4.15 FENCING AND WALLS

4.15.1 INTERIOR REAR YARD FENCING

All solid wood fencing shall be constructed of high-quality 4 or 5 inch cedar pickets placed vertically without spacing. **The wood pickets shall face outward with the framework exposed to the interior of the yard.** If adjacent lots will both be fenced at approximately the same time, the homeowners will determine on which side of the fence the pickets will be located.

The maximum height of a lot fence is 5 feet. Where a lot fence meets a village wall, the lot fence must be at or below the village wall height for a minimum of 8 feet. Wood fences must slope rather than step to accommodate grade changes.

All wood fences shall be stained on both sides. The required stain color is Sherwin Williams Exterior Woodscapes Latex Flat Stain IFC 8012N, N12-607 Cabot Brown or a computer matched wood stain.

Supplemental covenants or deed restrictions may prohibit lot fencing or further limit the acceptable materials in some Pine Creek neighborhoods. Please contact the MC for information pertaining to your neighborhood.

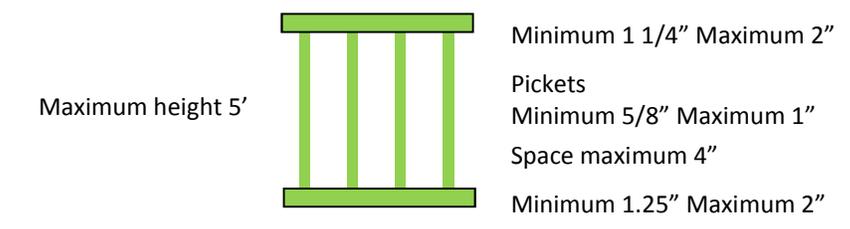
Prohibited fence materials include: plastic (PVC), chain link, wire-meshed (not used in conjunction with an open-rail fence for enclosing pets), and unfinished masonry.

Wing fencing must be set back a minimum of 5 feet from the front corner of the residence. Wing fencing shall match the setback of existing wing fencing on the adjacent property where possible. Wing fencing may be setback no less than 2 feet from the front corner when it is accommodating a window well and is specifically requested by a homeowner.

Lot fencing must be set back a minimum of 15 feet from the back of curb of all streets or 4 feet from the back of sidewalk, whichever is greater.

4.15.2 GOLF COURSE AND COMMON AREA REAR YARD FENCING

All fencing for lots adjacent to the golf course or common areas must have a minimum 1 ¼ inch, maximum 2 inch horizontal fencing and a minimum 5/8 inch, maximum 1 inch picket to match the golf course view fence in design, material and color. The required paint color is Kwal-Howell 8596N “Olympic Pine” or computer matched (eggshell finish)



The maximum height of the view fence is 5 feet. Where the view fence meets the common area or golf course view fence, the fence must be at or below the village fence for a minimum of 8 feet. View fences must step rather than slope to accommodate grade changes. The maximum step height is 12 inches. Shorter panels may be needed to accommodate steep slopes.

No access is provided or allowed from private lots onto the golf course or common areas. Home sites in Oak Grove, adjacent to Pirate’s Cove Park, have gate access per developer plan.

4.15.3 DOG RUNS

Dog runs shall not exceed 200 square feet in size. In order to reduce their visual impact, dog runs must be attached to the residence and set back a minimum of 5 feet from any property line. Refer to **Section 2.11** for the definition of “Visual Impact”. Additional screening may be required at the discretion of the ARB or MC.

The maximum height of dog run fencing is 5 feet. Acceptable fencing materials include: steel picket or cedar pickets with spacing allowed. Fencing shall be painted or stained to match the body color of the home. Unacceptable materials include: split rail or frame with wire mesh, chain link or lattice. Location and materials must be approved by the ARB or MC before installation.

4.15.4 RETAINING WALLS

Retaining walls shall not be placed within the 5-foot side and 7-foot rear yard public utility and drainage easements. Retaining walls will be allowed within the easement only if drainage is not impeded. Damage caused by the utility company due to easement placement will be at the homeowner’s expense. Retaining walls in front yards will be reviewed on a case-by-case basis.

Acceptable materials for retaining walls located in front yards or visible from common areas or the golf course include: natural stone, manufactured stone, decorative masonry block, brick and stucco. High quality wood timbers will be considered on a case-by-case basis. Railroad ties are not permitted.

4.16 LIGHTING

4.16.1 YARD LIGHTS

In order to provide a unified theme in Pine Creek, a pre-selected yard light design is required in all residential front yards in Pine Creek. All yard lights must be painted Sherwin Williams SW6258 Tricorn Black. Please visit www.pcva.org for details on the selected yard light fixture.

Builders are required to install the required yard light before occupancy of the home.

The yard light is to be placed approximately 4 feet behind the street sidewalk on the front door side of the driveway. Locations on flag lots or homes with side-entry garages will be reviewed on a case-by-case basis.

Mounting height shall be 7 feet to the top of the fixture.

A **soft white** bulb (incandescent, CFL, LED) giving off at least 1600 lumens of light is required for all yard lights in Pine Creek for consistency. No other color is allowed.

The light operates on a photocell and may not be turned off during operational hours (dusk to dawn).

4.16.2 LANDSCAPE LIGHTING & SEASONAL DECORATIONS

The use of landscape up-lighting or down-lighting is encouraged. Lighting that causes glare, discomfort or disrupts the visual environment of neighboring lots is prohibited. All lighting requires approval of the MC before installation.

Colored lighting other than seasonal and holiday decorative lighting is prohibited. Seasonal decorative lighting over the winter holidays may be installed on or after November 1, however, that lighting may only be lit during the period from November 15th to January 15th. Lighting shall be removed no later than January 31st.

Seasonal decorative lighting and décor may not be placed on any common areas maintained by the Association which includes both landscaped areas and perimeter fencing maintained by the Association.

Seasonal decorations for calendar holidays outside of the November 15th to January 15th timeframe shall be installed no more than 30 days prior to and removed within seven days after the calendar holiday. Wreath and flag decorations for specific seasons (spring, summer, fall, winter) shall be removed the last day of that season according to the calendar.

4.16.3 EXTERIOR AND SECURITY LIGHTING

All exterior building lighting including path lighting, sports court, motion-detector security lighting and flag pole lighting shall be white in color and shall be designed to avoid spilling onto adjacent lots. All lighting requires approval by the MC before installation.

Concealed light sources such as wall sconces, recessed lighting, soffit lighting and directional lighting are preferred. Exposed bulbs (not within a fixture) are not permitted.

4.17 PUBLIC EASEMENTS

Unless larger easements are designated on the recorded subdivision plat, each lot is subject to a 5 foot public utility easement on each side of the property lines, a 7 foot public utility and drainage easement along rear property lines and a 5 foot public utility and improvement easement along front and side property lines facing a street. Structures and walkways will be permitted on a case-by-case basis after review by the MC to insure proper drainage. Any damage caused by the utility company or contractors due to location in easement will be at the owner's expense.

5 Approval Process

5.1 PURPOSE

In order to promote and maintain the architectural character, aesthetics and Community-Wide Standard of Pine Creek, materials used in modifications to structures, as well as landscaping materials, must be compatible with the residence and overall architectural style and theme of Pine Creek. The approval process assures the continuity of character and helps preserve or enhance the appearance and overall value of every property. Except for the conversion of garages to living space, any interior of a residence may be modified without MC approval.

5.2 DESIGN REVIEW PROCEDURE

Plans and specifications showing the nature, kind, shape, color, size, materials and location of all proposed exterior structures and improvements (including landscaping) **shall** be submitted to the MC for review and approval **PRIOR TO INSTALLATION**. A completed design review request form, photos of the area proposed to be changed, drawings or plans with dimensions, brochures and any other necessary information to clearly show the proposed change must be submitted in full before review of the application. **Incomplete or illegible submittals will be returned to the applicant without review.** The deadline for your **completed request** to be placed on the following meeting agenda is 5 p.m. the Thursday prior to the regularly scheduled meeting. **There will be no exceptions.** For initial new home and landscape installation submittals all forms shall be submitted to the ARB.

Applicants should use the application form in **Appendix D**. A Builder Plot Plan is recommended when showing the location of any improvements. If a Builder Plot Plan is not available, the applicant must provide relevant dimensions and must label appropriate information. Label information as existing or proposed.

5.3 WHERE TO SUBMIT

INITIAL SUBMITTALS	MODIFICATION SUBMITTALS
PCVA Architectural Review Board c/o La Plata Communities 1755 Telstar Drive, Suite 211 Colorado Springs, CO 80920 (719) 867-2279 phone (719) 260-7088 fax	PCVA Modifications Committee 1155 Kelly Johnson Blvd. Suite 495 Colorado Springs, CO 80920 (719) 398-0700 phone (719) 328-0756 fax CommunityCare@ehammersmith.com

5.4 APPLICATION RESPONSE TIME

5.4.1 ARB RESPONSE TIME

The ARB meets weekly except for holidays. Typically, reviews can be accomplished within five business days; however, the ARB may take up to fifteen business days from the meeting date for review. If the ARB fails to review an application within this period, the application will be deemed approved. However, no application shall be inconsistent with the Design Guidelines or Community Guidelines.

5.4.2 MC RESPONSE TIME

The MC typically meets twice monthly (excepting November – January) when there is an active application to review. Completed applications with all supporting information must be received by 5 p.m. Thursday prior to the next scheduled MC meeting to be considered for MC approval. The MC may take up to seven business days following the meeting date for homeowner notification. If the MC fails to review and respond to an application after 30 days, the application will be deemed

approved. However, no application shall be inconsistent with the Design Guidelines or Community Guidelines.

5.4.3 HOMEOWNER RESPONSIBILITY FOR COMPLETION

Approved projects shall be substantially completed within 60 days of project start. Projects requiring longer than 60 days should be documented in the application. **Photos of completed project should be sent to the PCVA manager within 30 days of completion.**

5.4.4 VARIANCES

The ARB or MC may grant variances to the Design Guidelines or Community Guidelines only when unique circumstances dictate that the requirements cannot be met. Financial hardship is not a consideration in granting variances. Variances must be granted in writing from the ARB or MC to be effective and must not be contrary to the Declaration. Refer to **Section 9.6** of the Declaration for additional information.

5.4.5 ENFORCEMENT

The PCVA will periodically inspect properties for conformance to the Community Guidelines and other governing documents. **Additionally, installation of any exterior improvement without ARB or MC approval constitutes a violation of the Declaration.** If an improvement is deemed nonconforming, the ARB/PCVA will notify the homeowner in writing requesting that the improvement be removed or modified so that it is in conformance. These changes will be at the homeowner's expense. If the changes are not made, an authorized agent of the ARB may enter the property and remove the violation or restore the property so that it is in conformance. All costs will be assessed against the homeowner and collected as a specific assessment. Refer to **Section 9.8** of the Declaration for additional information.

The Board may impose sanctions in accordance with **Section 4.3** of the Declaration to bring the property into conformance. The purpose of this is to assure the long-term quality of Pine Creek.

5.5 DISPUTE RESOLUTION

The Community Guidelines have been designed to minimize disputes between neighbors concerning the subject matters contained herein and in the Declaration and Design Guidelines. However, when disputes arise, it is the intent of the PCVA to encourage the amicable resolution of disputes and to avoid the emotional and financial costs of litigation whenever possible. Accordingly, the PCVA and each homeowner agrees that it shall attempt to resolve all claims, grievances or disputes arising out of or relating to the interpretation, application or enforcement of the governing documents.

Refer to **Section 15.4** of the Declaration.

Plant Materials Palette

Deciduous Trees

Common Name	Botanical Name	Water Requirement	Maintenance Requirement	Remarks	Street Tree
Norway Maple	Acer platanoides -(3)	Medium	Low	Good Fall Color (yellow)	Yes
Red Maple	Acer rubrum	Medium	Low	Good Fall Color (yellow to red)	Yes
Wier's Cutleaf Maple	Acer saccharum 'Wier'	Medium	High	Very susceptible to snow storm	No
Sugar Maple	Acer saccharum	High	Low		Yes
Ohio Buckeye	Aesculus glabra	Medium	Low	Poisonous seeds, good fall color	Yes
Native Riverbirch	Betula fontinalis	High	Low		No
Western Catalpa	Catapla speciosa	Medium	Medium	Fruits can be messy	No
Western Hackberry	Celtis occidentalis	Medium	Low		Yes
Autumn Purple Ash	Fraxinus americana 'Autumn'	Medium	Low	Good Fall Color (yellow to red)	Yes
Green Ash	Fraxinus pennsylvanica	Medium	Low	Good fall color (yellow)	Yes
Honeylocust	Gleditsia triacanthos inermis (3)	Medium	Low		Yes
Lanceleaf Cottonwood	Populus acuminata (1)	Medium	High	Best used in parks, open spaces	No
Narrowleaf Cottonwood	Populus angustifolia (1)	Medium	High	Best used in parks, open spaces	No
Siouxland Cottonwood	Populus deltoides (1)	Medium	High	Best used in parks, open spaces	No
Plains Cottonwood	Populus sargentii (1)	Medium	High	Best used in parks, open spaces	No
Bur Oak	Quercus macrocarpa	Medium	Low		Yes
Pin Oak	Quercus palustris	Medium	Low	Good fall color (bronze to red)	Yes
English Oak	Quercus robur	Medium	Low	Good fall color	Yes
Northern Red Oak	Quercus rubra borealis	Medium	Low		Yes
Peachleaf Willow	Salix amugdalooides (1)	High	High	Best used in parks, open spaces	No
Weeping Willow	Salix elegantissima (1)	High	High	Best used in parks, open spaces	No
Niobe Weeping Willow	Salix x blanda 'Niobe' (1)	High	High	Best used in parks, open spaces	No
American Linden	Tilia americana	Medium	Low		Yes
Little Leaf Linden	Tilia cordata	Medium	Low		Yes
Redmond Linden	Tilia euchlora 'Redmond'	Medium	Low		Yes

Ornamental Trees

Common Name	Botanical Name	Water Requirements	Maintenance Requirements	Remarks
Amur Maple	Acer ginnala	Medium	Low	Good fall color (orange to red)
Shadblow Serviceberry	Amelanchier canadensis	Medium	Low	Nice fall color (yellow to red)
Eastern Redbud	Cercis canadensis	Medium to High	Low	Showy Flowers
Cornelian Dogwood	Cornus mas	Medium	Low	Showy Flowers
Thornless Cockspur	Crataegus crus-galii inermis	Low	Low	Thornless, good fall color Hawthorn (orange to red)
Cockspur Hawthorn	Crataegus crus-galii	Low	Low	Thorns, good fall color (orange to red)
Downy Hawthorn	Crataegus molis	Low	Low	
Washington Hawthorn	Crataegus phaenopyrum	Medium	Low	Good fall color (red)
Golden Raintree	Koelreuteria paniculata	Medium	Low	Showy Flowers

Evergreen Trees

Common Name	Botanical Name	Water Requirements	Maintenance Requirements
White Fir	Abies concolor	Medium to High	Low
Oneseed Juniper	Juniperus monosperma	Low	Low
Rocky Mountain Juniper	Juniperus scopulorum 'Var.'	Low to Medium	Low
Red Cedar	Juniperus virginiana 'Varieties'	Medium	Low
Black Hills Spruce	Picea gaucha densata	Medium to High	Low
Colorado Blue Spruce	Picea pungens 'Glauca'	Medium to High	Low
Colorado Green Spruce	Picea pungens	Medium	Low
Bristlecone Pine	Pinus aristata	Low to Medium	Low
Pinion Pine	Pinus edulis	Low to Medium	Low
Limber Pine	Pinus flexilis	Low to Medium	Low
Swiss Mountain Pine	Pinus mugo	Low to Medium	Low
Austrian Pine	Pinus nigra	Low to Medium	Low
Ponderosa Pine	Pinus ponderosa	Low	Low
Southwestern White Pine	Pinus strobiformus	Low to Medium	Low
Scotch Pine	Pinus sylvestris	Low to Medium	Low
Douglas Fir	Pseudotsuga menziesii 'Taxifolia'	Medium	Low

Evergreen Shrubs

Common Name	Botanical Name	Water Requirements	Maintenance Requirements	Remarks
Euonymus	Euonymus forunei	Medium	Medium	
Euonymus Manhattan	Euonymus kiautschovicus 'Manhattan'	Medium	Medium	
Juniper	Juniperus sp. (3)	Low to Medium	Low	
Oregon Grape Holly	Mahonia aquifolium	Medium	Medium	Nice fall colors (red to purple).
Holly Pyracantha	Pyracantha angustifolia	Medium	Medium	Nice fall/winter colors (red to purple).
Firethorn	Pyracantha coccinea (3)	Medium	Medium	
Yew	Taxus x media 'Hicksii'	Low to Medium	Low	

Deciduous Shrubs

Common Name	Botanical Name	Water Requirements	Maintenance Requirements	Remarks
Thin Leaf Alder	<i>Alnus tenuifolia</i>	Medium	Low	Nice fall color (yellow)
Serviceberry	<i>Amelanchier alnifolia</i>	Low	Low	Nice fall color
Chokeberry	<i>Aronia melanocarpa</i>	High	Medium	Suckers, good fall color (red)
Sagebrush	<i>Artemisia</i> (3)	Low	Low	
Four Wing Saltbush	<i>Artiplex canescens</i>	Low	Medium	
Korean Barberry	<i>Berberis koreana</i>	Medium	Medium	Thorns
Mentor Barberry	<i>Berberis mentorensis</i>	Medium	Medium	Thorns, good fall color (yellow to red)
Redleaf Japanese Barberry	<i>Berberis thunbergii atropurpurea</i>	Medium	Medium	Thorns
Green Japanese Barberry	<i>Berberis thunbergii</i>	Medium	Medium	Thorns
Blue Mist Spirea	<i>Caryopteris x clandonesis</i>	Low	Low	
Curleaf Mountain Mahogany	<i>Cercocarpus</i>	Low	Medium	
Mountain Mahogany	<i>Cercocarpus montanus</i>	Low	Medium	
Quince	<i>Chaenomeies spp.</i>	Medium	Medium	Show y flow ers
Rabbit Brush	<i>Chrysothamnus nauseosus</i>	Low	Medium	
Variegated Dogwood	<i>Cornus alba bariegata</i>	Medium to High	Medium	
Colorado Redosier Dogwood	<i>Cornus sericea coloradense</i> (3)	Medium to High	Medium	Colored twigs provide nice winter color.
Yellow twig Dogwood	<i>Cornus sericea flaviramea</i> (3)	Medium to High	Medium	Colored twigs provide nice winter color.
Kelsey Dwarf Dogwood	<i>Cornus sericea kelseyi</i>	Medium	Medium	
Redtwig Dogwood	<i>Cornus stonolifera</i>	Medium to High	Medium	Colored twigs provide nice winter color.
Cranberry Cotoneaster	<i>Cotoneaster apiculata</i>	Medium	Medium	
Spreading Cotoneaster	<i>Cotoneaster divaricata</i>	Medium	Medium	
Rock Cotoneaster	<i>Cotoneaster horizontalis</i>	Medium	Medium	
Silverberry	<i>Eleagnus commutata</i>	Medium	Medium	
Burning Bush	<i>Euonymus alata</i> (3)	Medium	Medium	Nice fall color (red).
New Mexico Privet	<i>Forestiera neomxicana</i>	Medium	Medium	
Forsythia	<i>Forsythia intermedia</i>	Medium	Medium	Show y flow ers.
Honeysuckle	<i>Lonicera</i> (3)	Medium	Medium	
Mockorange	<i>Philadelphus</i> (3)	Medium	Medium	
Mountain Ninebark	<i>Physocarpus monogynus</i>	Low to Medium	Medium	
Pointentilla	<i>Pontentilla fruticosa</i> varieties (3)	Medium	Medium	Show y flow ers.
Sandcherry	<i>Prunus besseyi</i>	Medium	Medium	
Cistena Plum	<i>Prunus cistena</i>	Medium	Medium	
Native Chokecherry	<i>Prunus virginiana melanocarpa</i>	Low to Medium	Medium	
Scrub Oak	<i>Quercus gambelii</i>	Low	Low	

Deciduous Shrubs - Continued

Common Name	Botanical Name	Water Requirements	Maintenance Requirements	Remarks
Tallhedge Buckthorn	Thamnus frangula columnaris	Medium	Medium	
Smooth Sumac	Rhus glabra	Low	Medium	Nice fall color (orange to red).
Threeleaf Sumac	Rhus tribata	Low	Medium	Nice fall color (orange to red).
Staghorn Sumac	Rhus typhina	Low	Medium	
Alpine Currant	Ribes alpinum	Low to Medium	Medium	
Golden Currant	Ribes aureum	Low to Medium	Medium	
Rose	Rosa (3)	Low to Medium	Medium	
Coyote Willow	Salix exigua	Medium to High	Medium to High	Best for moist areas.
Bluestem Willow	Salix irrorata	Medium to High	Medium to High	
Dwarf Willow	Salix purpurea nana	Medium to High	Medium to High	
Artic Willow	Salix purpurea	Medium to High	Medium to High	
Elder	Sambucus canadensis	Medium to High	Medium	
Buffalo Berry	Shepherdia argentea	Low	Medium	
Spirea	Spiraea varieties (3)	Medium	Medium	
Snowberry	Symphoricarpos albus	Medium	Medium	
Lilac	Syringa varieties (3)	Medium	Medium	
Viburnum	Viburnum varieties (3)	Low to Medium	Medium	Nice fall colors (varies).
Privet	Vulgare (3)	Medium	Medium	

Perennials, Ground Covers and Ornamental Grasses

Due to the large quantity, variety and changing availability of these plants, please consult your local nursery (preferably a C.N.A. member) Height, color, texture, moisture, light requirement and heartiness need to be considered when specifying these plants.

Notes:

- 1. These plants are not recommended to be planted within 10 feet of any foundation, curb, road, walkway or other site structure that may be damaged by their vigorous, shallow root system. Additional City of Colorado Springs restrictions may apply.
- 2. Future size of all evergreen trees must be considered when determining location for planting. They are not recommended within 8 feet of any roadway, walkway or entrance, where there mature size may obstruct passage or view. Evergreen trees shall not be placed within roadway site triangles. Evergreens trees should not be located where their shadow may cause icing on paved surfaces.

Xeriscape Plant List

As a way to encourage the use of plants that do well in our region with limited water, the Garden Centers of Colorado have developed a three level "X-rated" system as shown below.

X = thrives in slightly dry conditions with moderate water

XX = thrives in dry conditions with low water

XXX = thrives in dry conditions with very little water

Perennials

Botanical Name	Common Name	X-Rated System
<i>Achillea</i> spp.	Yarrow	XXX
<i>Aquilegia</i> spp.	Columbine	XX
<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	XXX
<i>Artemisia schmidtiana</i>	Silver Mound	XXX
<i>Aster novae-angliae</i>	Aster, New England	XX
<i>Cerastium tomentosum</i>	Snow-in-Summer	XX
<i>Coreopsis lanceolata</i>	Coreopsis	X
<i>Delosperma nubigenum</i>	Yellow Ice Plant	XX
<i>Dianthus barbatus</i>	Sweet William	XX
<i>Echinacea purpurea</i>	Purple Coneflower	XX
<i>Euphorbia epithymoides</i>	Cushion Spurge	XX
<i>Gypsophila paniculata</i>	Baby's Breath	XXX
<i>Hemerocallis</i> spp.	Daylily	XX
<i>Iberis sempervirens</i>	Candytuft	X
<i>Lavandula angustifolia</i>	Lavender	XX
<i>Leucanthemum x superbum</i>	Shasta Daisy	XX
<i>Lonicera japonica</i> 'Hailliana' Hall's	Hall's Japanese Honeysuckle	XX
<i>Lupinus polyphyllus</i>	Lupine	X
<i>Phlox subulata</i>	Creeping Phlox	XX
<i>Rudbeckia hirta</i>	Black-eyed Susan	XX
<i>Sedum</i> spp.	Sedum, Stonecrop	XXX
<i>Sempervivium</i> spp.	Hen and Chicks	XXX
<i>Thymus pseudolanuginosus</i>	Wooly Thyme	XX
<i>Veronica prostrata</i>	Prostrate Speedwell	X
<i>Vinca minor</i>	Periwinkle	X

Shrubs

Botanical Name	Common Name	X-Rated System
<i>Amorpha canescens</i>	Leadplant	XXX
<i>Artemisia</i> spp.	Sage	XXX
<i>Berberis thunbergii</i>	Barberry	X
<i>Caragana</i> spp.	Peashrub	XXX
<i>Cercocarpus</i> spp.	Mountain Mahogany	XXX
<i>Chamaebatiaria millifolium</i>	Fernbush	XXX
<i>Chrysothamus nauseus blue</i>	Rabbitbrush	XXX
<i>Cotoneaster</i> spp.	Cotoneaster	XXX
<i>Cytisus</i> spp.	Broom	XXX
<i>Fallugia paradoxa</i>	Apache Plume	XXX
<i>Juniperus</i> spp.	Juniper	XXX
<i>Pinus mugo</i>	Mugo Pine	X to XXX
<i>Potentilla fruticosa</i>	Cinquefoil, Potentilla	XXX
<i>Prunus besseyi</i>	Sand Cherry	X
<i>Rhus</i> spp.	Sumac	XXX
<i>Yucca glauca</i>	Yucca	XXX

Trees

Botanical Name	Common Name	X-Rated System
<i>Celtis occidentalis</i>	Common Hackberry	XXX
<i>Crataegus</i> spp.	Hawthorns	XXX
<i>Gleditsia triancanthos inermis</i>	Thornless Honeylocust	XX
<i>Gymnocladus dioicus</i>	Kentucky Coffeetree	XXX
<i>Juniperus</i> spp.	Junipers, Upright	XX
<i>Pinus aristata</i>	Bristlecone Pine	X
<i>Pinus edulis</i>	Pinyon Pine	XX
<i>Pinus ponderosa</i>	Ponderosa Pine	XX to XXX
<i>Quercus gambelii</i>	Gamble/Scrub Oak	XXX
<i>Quercus macrocarpa</i>	Burr Oak	XXX

Notes:

1. It is not recommended that these plants be planted within 10 feet of any foundation, curb, road, walkway or other site structure that may be damaged by their vigorous/shallow root system. Additional City of Colorado Springs restrictions may apply.
2. Evergreen trees are not recommended next to roadways, sidewalks or entrances where their mature size may obstruct passage or view. Evergreen trees may not be placed within roadway site triangles. Evergreen trees shall not be located where their shadow may cause icing on paved surfaces.
3. These plants have numerous species, varieties and/or cultivars. Consult a local nursery for current availability and proper selection.

Appendix B - Landscape Terminology

Establishment Permit	A permit granted by the City of Colorado Springs for a newly installed landscape. The permit allows a homeowner a temporary variance from current watering restriction schedules.
Front Yard	The landscape area generally from the front corners of the home to back of sidewalk and laterally to side property lines (excluding the parkway).
Irrigation System	A watering system designed to transport and distribute water to the landscape. Types: <ul style="list-style-type: none"> • Pop Up or Rotor Head Irrigation System: an overhead spray system utilizing spray heads (shorter distances), or rotor heads (long distances). • Drip System: an above ground, separate low pressure, low water use irrigation zone to irrigate plants. • Subterranean Irrigation System: an underground drip system to properly irrigate sod.
Landscape	The designed layout of plants, sod, paving and other elements on a property.
Landscape Area	The area outside of the home foot print, not covered with concrete.
Landscape Plan	A scaled diagrammatic drawing showing the placement and relationship of plants, sod, paving, and other elements.
Modified Landscape	Any change (or renovation) to an existing landscape.
Mulch	Rock, wood, or other ground cover material approved by the ARB.
Native Seed	Blend of seed that requires less maintenance than common bluegrass and tends to go dormant with drought and high temperatures.
Net Lot Area	Total lot square footage minus the house footprint.
Parkway	<i>(cross reference Sidewalk definition)</i> <u>With Detached Sidewalk</u> The area between the street curb and sidewalk. <u>With Attached Sidewalk</u> See Street Tree Planting Zone definition.
Paved Area	An area covered with concrete.
Positive Drainage	A minor slope (minimum of 2%) away from an area or structure.
Rear Yard	The area from the rear corners of the home to the side and rear property lines.
Side Yard	The area on the side of the house, between the “front yard” and “rear yard”.
Sidewalk	<u>Attached Sidewalk</u> A sidewalk that is connected to the street curb. <u>Detached Sidewalk</u> A sidewalk that is not connected to the street curb.

Soil Amendment	Organic materials introduced into the existing soil that assist in water retention, plant nutrition, air circulation and overall soil improvement.
Street Tree Planting Zone	An area within the front yard that is measured 4-7 feet from the back edge of the sidewalk in which street trees are to be located. See Sidewalks definition.
Turf	<p><u>Common Bluegrass or (Equivalent)</u> High water use grass (typically in sod form).</p> <p><u>Native Seed Mixture</u> Low water use grass (in sod or seed form).</p>
Turf Establishment Period	Two to four week period when newly laid sod, or newly applied seed, requires more water to establish roots into the amended soil (See Establishment Permit definition).



GOLF COURSE LIVING, CLOSE TO EVERYTHING

Communications Equipment Registration Form

Owner's Name: _____

Property Address: _____

Phone Number: _____ Email Address: _____

Type of Equipment (Satellite Dish, Antenna, Internet Equipment, etc.)

Size: _____ **Color:** _____

(Please attach a flier showing the unit or provide a sketch on the reverse of this form.)

Please describe the proposed location for the placement of the equipment.

How will the unit be mounted? (i.e. bolted to the siding, attached to eave, mounted on a support post)

Have you reviewed Section 2.8 of the Community Guidelines for Communication/Satellite Equipment placement? Yes No

Does your proposal meet the intent of the Guidelines regarding minimal visual impact?
Please explain how the location of the equipment has minimal visual impact.

Owner's Signature: _____ **Date:** _____

Hammersmith Management, Inc
1155 Kelly Johnson Blvd Suite 495
Colorado Springs, CO 80920
Fax: 719-328 0756

For Office Use Only:

Date Received: _____ Approved: _____ Requires Modification: _____

Appendix D

Design Review Request
Pine Creek Village Association
 1155 Kelly Johnson Blvd Suite 495
 Colorado Springs, CO 80920
 (719) 389 0700 pinecreek@ehammersmith.com www.pcva.org

FOR OFFICE USE ONLY

Date Received MS _____
 Crucial Date _____
 Date Sent To Committee _____
 Date Rcvd From Committee _____
 CM _____
 Request# _____

Name: _____
 Address: _____
 City/State/Zip: _____

Email: _____
 Home Phone: _____
 Work Phone: _____

My request involves the following type of improvement:

- Painting Deck/Patio Slab Roofing Drive/Walk Addition
- Landscaping Patio Cover Room Addition Basketball Backboard
- Fencing Other: _____

Describe improvements (attach additional documentation as needed):

Planned completion date: _____

I understand that I must receive approval of the Association in order to proceed. I understand that Association approval does not constitute approval of the local building department and that I may be required to obtain a building permit. I understand that my improvements must be completed per specifications or approval is withdrawn. I agree to complete improvements promptly after receiving approval.

Date: _____ Homeowner's Signature: _____

Committee Action:

- Approved as submitted
- Approved subject to the following requirements:

- Disapproved for the following reasons:

Completion required by : _____

Committee Member Signature: _____ Date: _____

(Please complete checklist on back of form)

Design Review Request Checklist

To better assist the Committee in their decisions and to prevent any delays in decisions, please be sure to include the following information with your submittals.

DECK REQUESTS:

- Photo of the existing deck/back of home
- Dimensions & drawings of proposed deck
- Color of: decking, railing, fascia, support posts, railing posts, sides of steps (if applicable)
- Size of support posts/columns

LANDSCAPE REQUESTS:

- Photo of area to be modified
- Drawing with new plant locations
- Plant list with type & # of each plant
- Rock size & color
- Mulch type & color

EXTERIOR PAINTING REQUESTS

- Photo of home (and if possible, photos of neighboring homes)
- Place a 4' by 4' sample board outside the home with each color labeled ("trim," "door," "body," etc.)

ROOF REQUESTS

- Brochure sample of roof color & material
- Photo of home with existing roof

EXTERIOR BUILDINGS

- Color of roof & sides
- Proposed location of structure
- Size & height of structure
- Photo of proposed location of structure
- Photo of home