



A GOLF COURSE COMMUNITY

Design Guidelines



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1. Introduction

1.1 PROJECT OVERVIEW

Pine Creek is located within Briargate, and is bounded by Chapel Hills Drive and Lexington Drive on the west, Old Ranch Road on the north, Powers Boulevard on the east, and Briargate Parkway and Union Boulevard on the south. Refer to **Exhibit 1-A**. With broad vistas of Pikes Peak and the Rocky Mountain Front Range, Black Forest and an 18-hole golf course, Pine Creek is surrounded by natural beauty. The golf course, common area, parks, and trails will link a variety of housing types including custom and semi-custom homes and production single-family homes; townhomes and apartments. A traditional village center incorporating retail shops, offices, and a landscaped village green in a quaint “main street” setting will be located at the southwestern entrance to Pine Creek.

A key element of Pine Creek is the architectural and landscape theme, which is explained in **Section 1.2**.

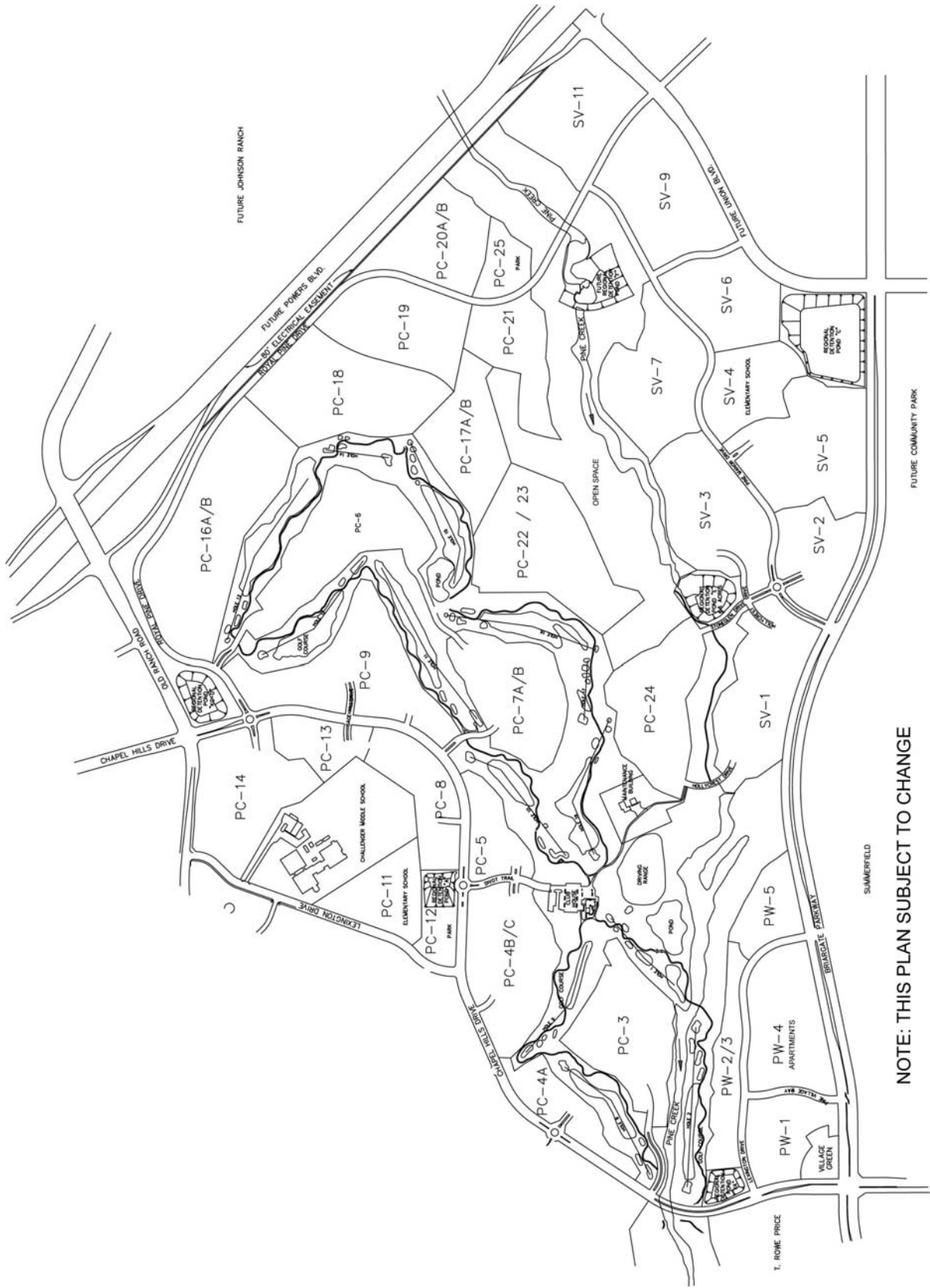
1.2 VILLAGE THEME

1.2.1 ARCHITECTURE

The architectural theme for Pine Creek borrows from the predominant architectural styles of historic Colorado Springs and adapts them in a contemporary form. Four predominant architectural styles provide a distinctive, eclectic character and demonstrate the City’s far-reaching roots. The Prairie Style from the Midwest; the Craftsman Style from California; the Spanish Eclectic Style from the southwest and European Cottage are intermixed in a rich vocabulary of building forms and detailing.

These four architectural styles have been developed as part of a Community Visioning Process and selected for use in Pine Creek. Examples of these architectural styles applied to each major product type is included as part of the Community Vision Booklet. The Design Guidelines are intended to provide a foundation for incorporating historic architectural styles into contemporary homes to create a distinctively “Pine Creek style.” A variety of rich colors, materials, forms, and attention to detail are the key ingredients for distinguishing Pine Creek from other suburban neighborhoods in the area.

PINE



NOTE: THIS PLAN SUBJECT TO CHANGE

A

1.2.2 LANDSCAPE

The landscape concept for Pine Creek reflects the upscale yet informal environment of a golf course community. The landscape will provide for a variety of seasonal color, textures and forms while strongly unifying the neighborhoods and adjoining lots.

Particular emphasis is placed on streetscapes. Landscaped medians, cul-de-sac islands, roundabouts and parkways will soften and shade roads and encourage pedestrian use.

Also essential to the landscape concept in Pine Creek is the natural transition of landscape between lots and the golf course and common area edges. This will allow the landscape to flow throughout the community instead of delineating lot lines. Refer to **Section 4** for specific landscape requirements.

1.3 DESIGN GUIDELINES ROLE

1.3.1 PURPOSE AND APPLICABILITY

The purpose of the Pine Creek Design Guidelines (Design Guidelines) is to foster variety and design creativity by parcel developers, builders and their consultants within the overall context of the village theme. The Design Guidelines apply to all improvements within Pine Creek including site planning, architectural design, landscape design, fences, walls, signage, entry monuments, lighting and site furnishings for all residential parcels.

1.3.2 SUPPORTING DOCUMENTS

The Design Guidelines works in concert with the Declaration of Covenants, Conditions, & Restrictions for Pine Creek Village at Briargate (the Declaration) and the Pine Creek Community Guidelines (Community Guidelines). These Guidelines are also supported by the following documents:

- a. Briargate Master Plan
- b. Pine Creek Community Vision
- c. Parcel Packages (including development plans, plats, and improvement plans)
- d. Signature Builder Documents
- e. Purchase Agreement between Builder and Master Developer

Should a conflict exist between the Design Guidelines and the Community Guidelines, the Design Guidelines shall prevail. Should a conflict exist between either the Design Guidelines or Community Guidelines with the Declaration, the Declaration shall prevail.

In addition, the Design Guidelines may be more restrictive than, but do not supersede or modify any existing applicable codes or ordinances. In the event of conflict or discrepancy, or for subjects not addressed herein, the

municipal regulations and codes take precedence, and the most restrictive standards shall apply. Any requests for variances to city codes or ordinances shall be submitted to the appropriate municipal agency following written consent from the Master Developer or ARB.

1.3.3 RESPONSIBILITY FOR REVIEW

The Architectural Review Board (ARB) shall review and approve all proposed development within Pine Creek pursuant to the established design review procedures outlined in **Section 6** prior to submission to the City. **No improvements may be performed in Pine Creek without approval of the ARB.**

Neither the Master Developer nor the ARB assumes responsibility for plan review of, or conformance to applicable local codes or ordinances. The ARB's purpose in plan review is to meet the intent of the Design Guidelines and supporting documents.

The Design Guidelines are subject to interpretation by the ARB and may be amended from time to time to meet specific site or functional requirements in Pine Creek consistent with the objectives of the Design Guidelines and the Declaration.

1.4 DEFINITIONS

ARB – Refers to the Pine Creek Architectural Review Board for Pine Creek as established by the Declaration.

Association – Refers to the Pine Creek Village Association, Inc., a Colorado non-profit corporation, its successors or assigns.

Builder – Refers to the entity that constructs improvements on a lot for later sale to an Owner.

Common Area – Refers to all real and personal property, including easements, belonging to and maintained by the Association for the common use and enjoyment of Association members.

Community Guidelines – Refers to the Pine Creek Community Guidelines established to review improvements to homes and any portion of a building lot, set community standards, identify maintenance responsibilities and establish home improvement approval process for homeowners in Pine Creek.

Declaration – Refers to the Declaration of Covenants, Conditions, and Restrictions for Pine Creek Village at Briargate, recorded November 12, 1998 and all subsequent amendments.

Design Guidelines – Refers to the Pine Creek Design Guidelines applicable to any and all residential development within Pine Creek. The Design Guidelines is primarily written for the initial construction of homes and lots.

Golf Course – Refers to the Pine Creek Golf Club, a privately owned, daily-fee golf course open to the general public.

Lot – Refers to an area of land shown as a lot on a recorded final plat within Pine Creek.

Lot Fence – Refers to a fence on a lot not designated as a village fence or village wall. Lot Fences are constructed by the Builder, Parcel Developer, or Owner pursuant to the Design Guidelines.

Master Developer – Refers to LP47, LLC d/b/a La Plata Investments, its successors or assigns, the developer of Pine Creek, also referred to as “declarant” in the Declaration.

Owner – Refers to the title holder of a lot or condominium unit sold by a builder.

Parcel – Refers to: (a) an area of land subdivided into lots or (b) an area of land to be used for apartments where no further subdivision is planned.

Parcel Developer – Refers to the entity that: (a) prepares a parcel for lot sales to a builder; or (b) constructs improvements on a parcel for use as apartments.

PCVA – Same as Association.

Village Fence – Refers to a full height steel picket security fence along a Common Area or the Golf Course.

Village Roadway – Refers to arterial and collector streets which provide circulation within Pine Creek and access to Parcels.

Village Wall – Refers to a full height solid masonry wall along Village Roadways.

1.5 PARCEL NAMES

Project names for each development parcel in Pine Creek have been pre-selected by the Master Developer to reflect the community theme and amenities. No other names for temporary or permanent signage or marketing will be permitted for a parcel without the written permission of the Master Developer.

2. Site Planning

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2. Site Planning

2.1 PURPOSE

Pine Creek consists of small, distinct residential parcels designed to preserve and enhance the site's unique features, including its rolling topography, views of the golf course, mountains, open space, and natural drainageways.

The purpose of these site planning guidelines is to establish creative development standards that encourage a greater sense of neighborhood identity, visual diversity and openness; generate building envelopes that provide suitable transition, privacy, and access between and through parcels; and respond to the property's natural features and engineering functions.

2.2 SITE PLANNING

2.2.1 VEHICULAR CIRCULATION

Village Roadway System

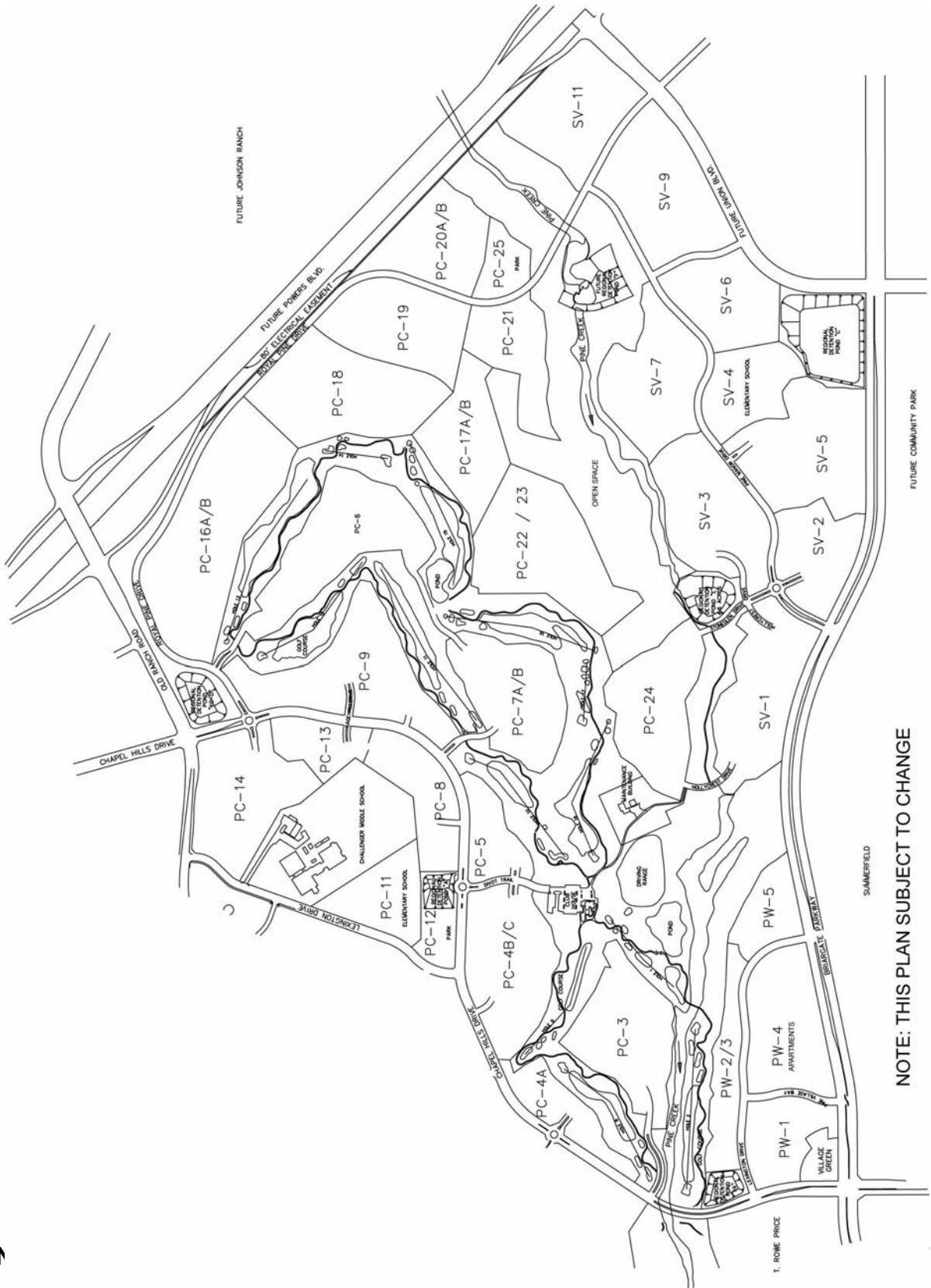
The circulation system for Pine Creek is based on a network of Village Roadways (perimeter arterials and internal collectors) and local/residential streets. Village Roadways provide easy access to neighborhoods but isolates high traffic volumes and noise from lower density residential parcels. Refer to **Exhibit 2-A**.

Residential Street Design

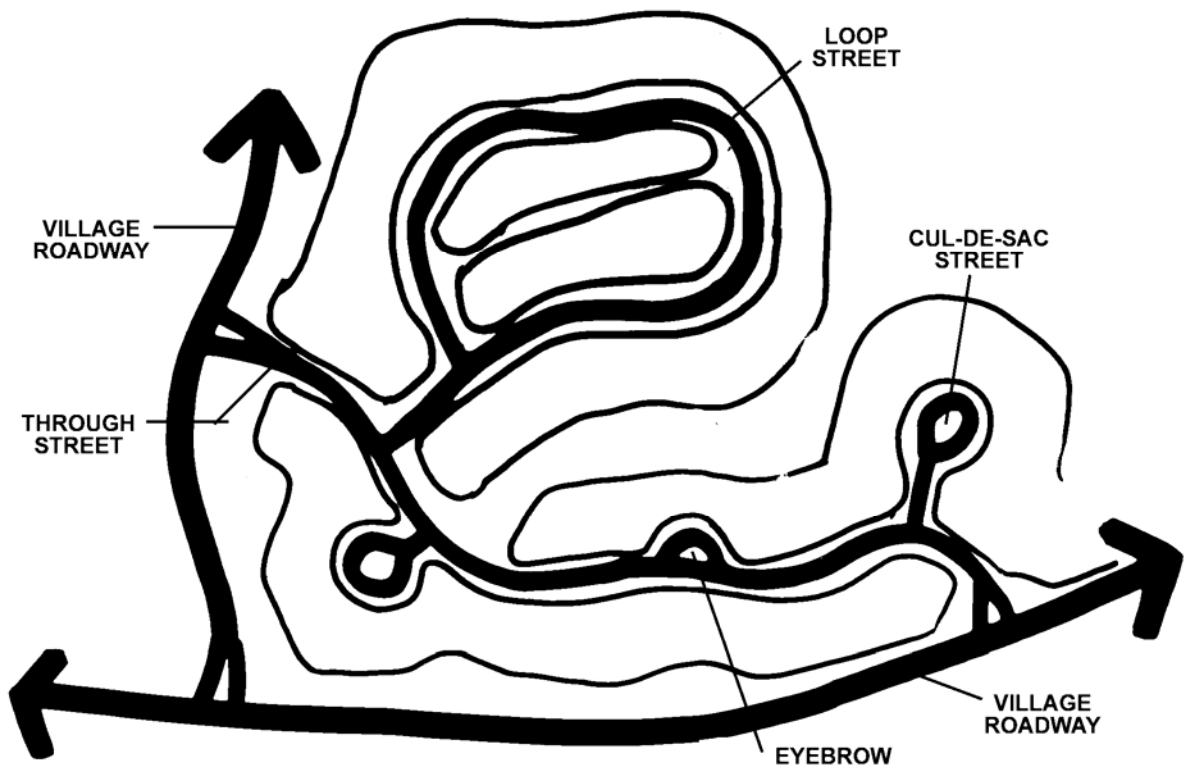
Residential streets shall be designed to incorporate a hierarchy of local street types and configurations, ranging from through streets and loop streets, to cul-de-sacs and eyebrows. Refer to **Exhibit 2-B**. In general, a through or looped street should be provided from the parcel entry which connects back to the entry or to a second entry within the parcel or within an adjacent parcel. Cul-de-sacs and eyebrows may be designed off this primary residential street, providing opportunities for smaller enclaves or groupings of homes within the larger parcel. Landscaped islands within cul-de-sacs, auto-courts, and eyebrows, are also encouraged to provide added visual interest, privacy, and property values for adjacent residents. Cul-de-sac design and length are subject to Fire Department and City of Colorado Springs requirements. In addition, residential streets shall be designed to discourage cut-through traffic.

Residential streets shall have a curvilinear alignment to slow traffic, provide visual interest, promote views to the mountains, golf course, open space, and other site amenities, and break up long rows of homes along the streetscape. To this end, residential streets shall be curved such that no more than 8 dwellings are visible along each side of the street from a single point on the roadway. Long straight streets are not permitted. Refer to **Exhibit 2-B**.

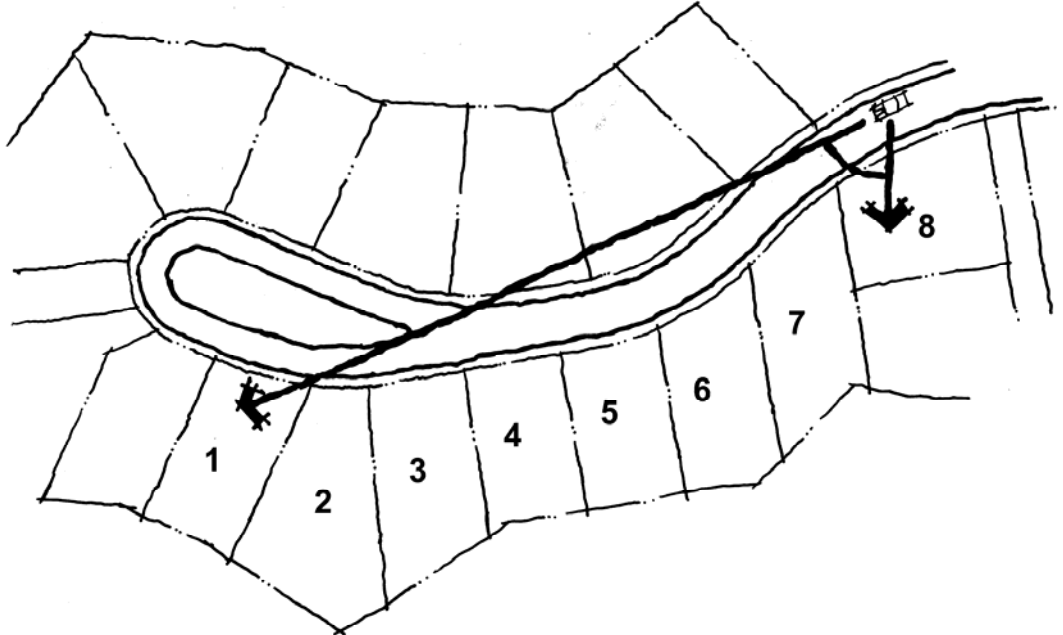
PIN



2-A



RES.
STREET TYPES AND CONFIGURATIONS



**CURVE STREET IS SO THAT NO MORE THAN 8 HOMES ARE VISIBLE
 ALONG ONE SIDE OF THE STREET**

Parcel Access/Entries

The number of parcel entries off the Village Roadways shall be limited, and where possible, off-set with local streets and entries into adjacent parcels or neighborhoods, in order to ensure privacy, reduce through traffic, and enhance the feeling of neighborhood identity. Refer to **Section 2.3.3** for parcel entry design.

Parcel street layout and access is subject to review by the City. Secondary entries and internal street connections with adjacent residential parcels may be required to satisfy fire and emergency access requirements in addition to connections required to serve the parcel.

2.2.2 PEDESTRIAN CIRCULATION

Walkway Plan

A walkway plan has been established for Pine Creek to accommodate a variety of non-motorized circulation modes. When complete, the system will provide convenient access throughout Pine Creek. This system consists of a hierarchy of walkways and trails including:

- a. **Regional Trails**, includes widened paved trails such as the Skyline Trail intended to provide access to various parts of the region outside of Pine Creek.
- b. **Village Walkways**, includes sidewalks along village roadways, as well as trails along common areas throughout Pine Creek. Village walkway shall meander and be detached from village roadway by a minimum of 4 feet, where possible. Village walkways shall be a minimum of 6 feet wide.
- c. **Parcel Sidewalks**, includes sidewalks along local/residential streets, trails between lots internal to a parcel and sidewalk connections to the Village Walkways. Parcel sidewalks shall be detached from the curb except in cul-de-sacs or where circumstances prevent it. Sidewalks are required along all residential streets and shall be constructed in accordance with City Standards. Parcel sidewalks shall be a minimum of 4 feet wide.

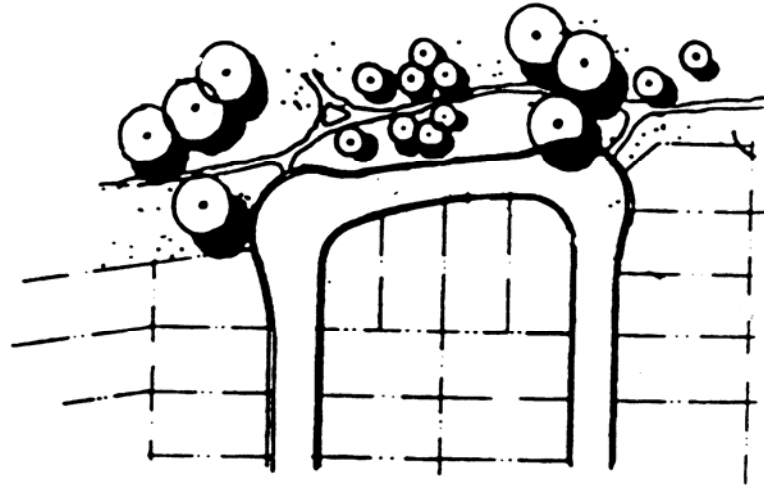
The Master Developer typically designs and constructs village walkways, while the parcel developer is required to construct the parcel sidewalks within individual parcels.

Pedestrian/Parcel Access

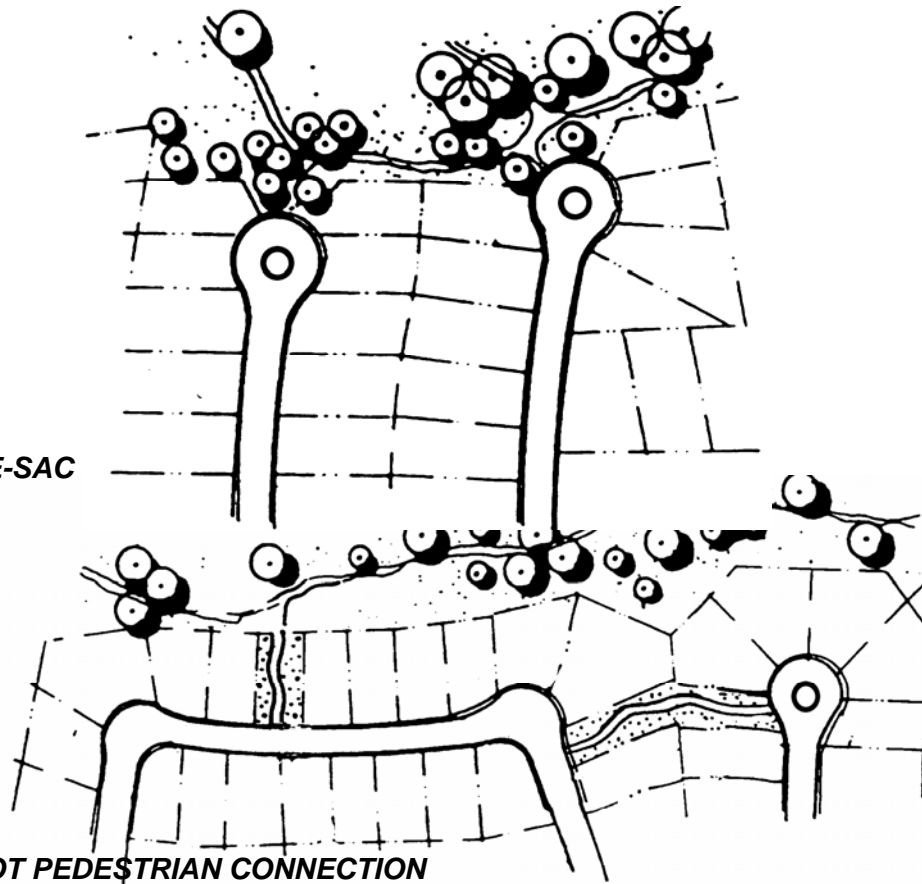
Pedestrian connections from parcels to the village walkway system may be provided through alternative street designs, including view cul-de-sacs, between-lot connections and single-loaded or fronting street segments. Refer to **Exhibit 2-C**.

2.2.3 ENTRY FEATURES

Parcel entries and major intersections shall be designed to provide adequate space for required site visibility and entry signage and monumentation. Refer to **Section 5.2**.



SINGLE LOADED OR FRONTING-STREET SEGMENT



VIEW CUL-DE-SAC

BETWEEN-LOT PEDESTRIAN CONNECTION

PEDESTRIAN ACCESS OPPORTUNITIES

EXHIBIT 2-C

2.2.4 PARKING

Single Family Parking

A minimum of 2 and a maximum of 4 parking spaces within an enclosed garage shall be provided on all single family lots. A minimum of 2 spaces shall be provided on the driveway apron.

Additional parking may be provided for in one of the following ways:

- a. **On-street parallel parking** along the outside curb of residential streets;
- b. **On-street parallel parking** along the inside curb of landscaped cul-de-sac islands;
- c. **Layby or protected parallel parking**, outside the drive lanes of the street.

Refer to **Exhibit 2-D** for parking alternatives.

Multi-Family Parking

Multi-family developments may be required to provide 1 visitor parking space per 6 units in addition to the City of Colorado Springs parking requirements.

Parking lot setbacks are as follows:

- Village Roadway: 10 feet min. from property line
- Common Area/Golf Course: 10 feet min. from property line
- Internal Streets: 6 feet min. from back of curb
- Adjacent Buildings: 10 feet min. from building face

Setbacks may be reduced or increased at the discretion of the ARB based on visibility/screening. Refer to **Section 4.4.1** for parking lot landscape requirements.

A maximum of 12 parking spaces in a row are allowed before a landscaped island is required.

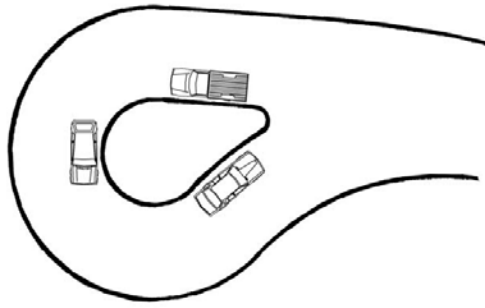
2.2.5 MODEL HOME COMPLEXES AND TEMPORARY TRAILERS

Parking

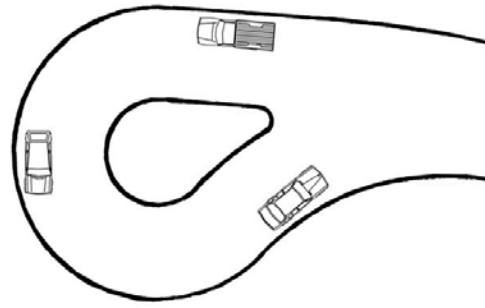
Parking lots for model home complexes, where provided, shall be paved in asphalt or concrete. All lots shall be landscaped in accordance with **Section 4.5** and shall be screened from village roadways, the golf course, and common areas. Parking may be provided on surface streets adjacent to the model.

Temporary Trap Fencing

Temporary trap fencing shall be consistent in color and style with the architectural character of the model homes. The use of metal view-fencing similar to the village view fence in **Section 5.2.1** is strongly encouraged. Chain link and wood picket fences are prohibited. The height of trap fences shall not exceed 4 feet. Trap fences are prohibited between the back of curb and back of sidewalk.

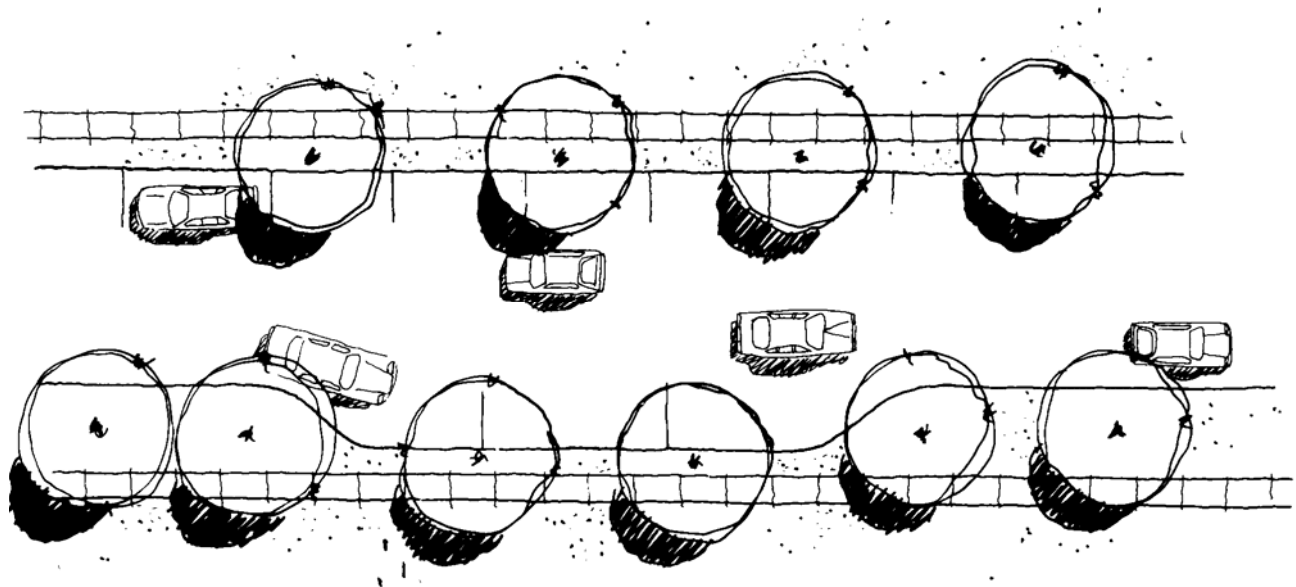


CORRECT



INCORRECT

PARKING PROVIDED ON INSIDE CURB OF LANDSCAPED CUL-DE-SAC ISLANDS



LAYBY AND PROTECTED PARALLEL PARKING

Temporary Sales Trailers

Temporary sales trailers, when approved by the ARB, shall have wood, simulated wood, or other approved material siding. Doors and windows shall be detailed, trimmed, or recessed to provide architectural interest.

The trailer hitch, air-conditioning units and other appurtenances shall be screened if visible from any street or open space. Trailers shall be landscaped in accordance with **Section 4.5.2**. All plans must be submitted to and approved by the ARB prior to installation.

Construction Trailers

Construction trailers are not permitted within Pine Creek without the express written consent of the ARB. Where permitted, trailers shall meet the requirements for temporary sales trailers.

2.3 SITE ENGINEERING

2.3.1 UNIQUE FEATURES AND EXISTING VEGETATION

Unique site features, including mature trees, drainageways, water features, wetlands, or unique topography, shall receive special consideration in site planning. Wherever possible, such features shall be left undisturbed.

Existing trees within a parcel shall be preserved according to the following criteria:

- a. If healthy and a desirable species, existing trees shall be preserved and identified as part of the final site plans for the parcel or lot. Tree wells or retaining walls should be used, if necessary, to protect such trees during construction.
- b. Grading shall be avoided within the drip line of any existing trees. Temporary fencing should be installed at the drip line to help preserve grades and to protect branches and foliage from damage during construction.

2.3.2 GRADING AND DRAINAGE

Parcel Grading

Grading shall respect the natural landforms by producing graceful contours and not sharp angles or abrupt grade changes.

Grading beyond the parcel boundaries is prohibited without prior approval by the ARB. Any damage to areas outside the parcel caused by construction activity shall be repaired at the builder's expense. Fill material placed against an existing wall is prohibited unless the wall is specifically designed to retain fill and prior approval has been obtained from the ARB. Excess excavation materials must be removed from Pine Creek by the parcel developer/builder unless approved otherwise by the ARB.

Parcel Drainage

Parcel drainage shall not be diverted or directed in a manner inconsistent with the overlot grading and master drainage plan prepared for the parcel. Drainage from or onto adjoining lots should be accommodated in such a manner as to prevent soil erosion and excessive increase of drainage flows.

Parcel developers are encouraged to utilize an underground storm drain system to collect low flows and nuisance run-off.

All drainage and detention facilities shall be designed as attractive site features and amenities. Drainage channels shall utilize grass-lined swales and avoid the use of hard-lined and rip-rap solutions.

Lot Grading

Structures on sloping sites should be designed to respond to natural site-grades, incorporating “stepped” foundations and walk-out floor plans to minimize grading and site preparation.

Lots shall be graded to provide positive drainage away from all buildings and toward internal streets. Lot drainage into common areas and the golf course must be approved by the ARB.

Lot Drainage

Positive drainage shall be provided away from all dwellings. Downspout drainage from a house must terminate within 4 feet of the structure and shall not be extended to property lines. Roof drainage should be directed to the front of the dwelling and directed to flow into internal streets, where possible.

Grading Adjacent to Golf Course or Common Areas

Parcel grading into the golf course or common areas is prohibited without prior ARB approval. A temporary silt fence shall be installed and maintained at the grading limit line during construction and no grading may occur outside this fence. The fence shall not be removed until completion of construction. Any damage to areas outside the parcel caused by construction activity shall be repaired at the parcel developer’s/builder’s expense, and approved by the ARB.

Berming

Berming may be used to soften the impact of structures and fences, as well as to provide screening and spacial separation between adjacent dwellings and other areas. Although the height of berms may vary, side-slopes should not exceed 3:1. Refer to **Exhibit 2-E**.

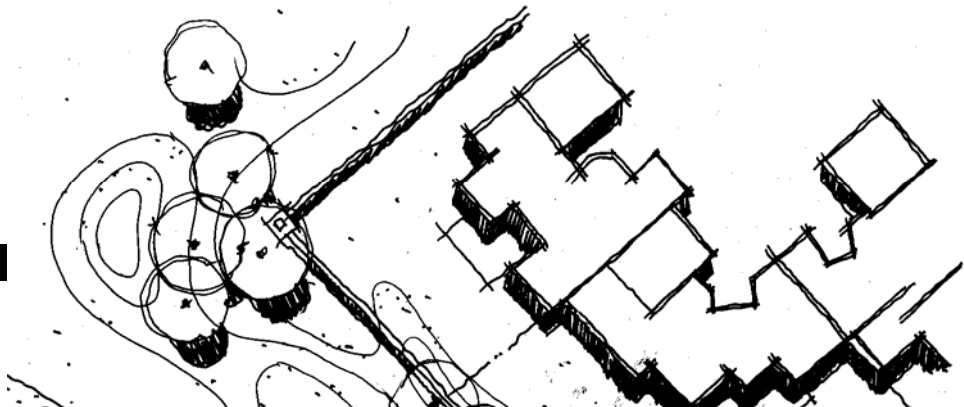
Berming within parcels adjacent to the golf course and common areas is allowed and encouraged. Slopes shall be designed to produce a continuous and rolling appearance which is consistent with the existing topography of the golf course or common area. Refer to **Section 4** for details. All enhanced grading and berming shall be approved by the ARB prior to construction.

Slope Requirements and Erosion Control

Slopes shall be limited to 3:1 or less. Slopes in excess of 3:1 shall require retaining walls. Refer to **Section 4.7** for retaining wall guidelines.

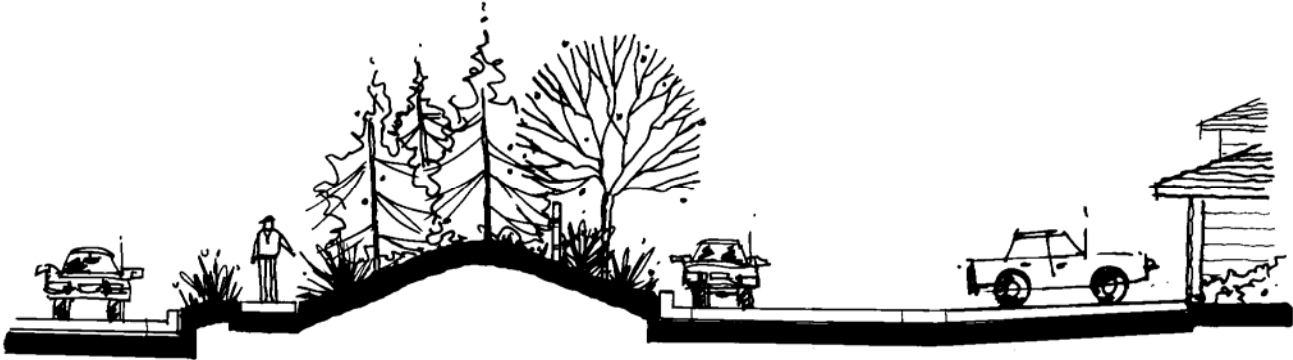
Builders and parcel developers are required to provide adequate temporary erosion controls during the construction of site improvements and buildings. Preventative measures such as temporary barriers (hay bales and silt fences) and temporary drainage structures (sediment ponds) shall be used.

All disturbed soils and slopes shall be maintained in a clean condition free of weeds or debris at all times by the parcel developer or builder.



GOLF COURSE OR COMMON AREA

BERMING WITHIN PARCELS ADJACENT TO GOLF COURSE AND OPEN SPACE AREAS IS ENCOURAGED



USE BERMING AND LANDSCAPE TO PROVIDE SPACIAL SEPARATION BETWEEN ADJACENT DWELLING AND OTHER AREAS. SLOPES NOT TO EXCEED 3:1

BERMING

EXHIBIT 2-E

2.3.3 UTILITIES AND EASEMENTS

Parcel developers and builders shall refer to the City of Colorado Springs Utility Standards and Zoning Code for requirements and criteria.

Fences, landscaping, and other features may be located within utility easements provided they do not interfere with the use, operations, or access to such easement.

2.4 SINGLE FAMILY DETACHED STANDARDS AND SETBACKS

2.4.1 SINGLE FAMILY DEVELOPMENT STANDARDS

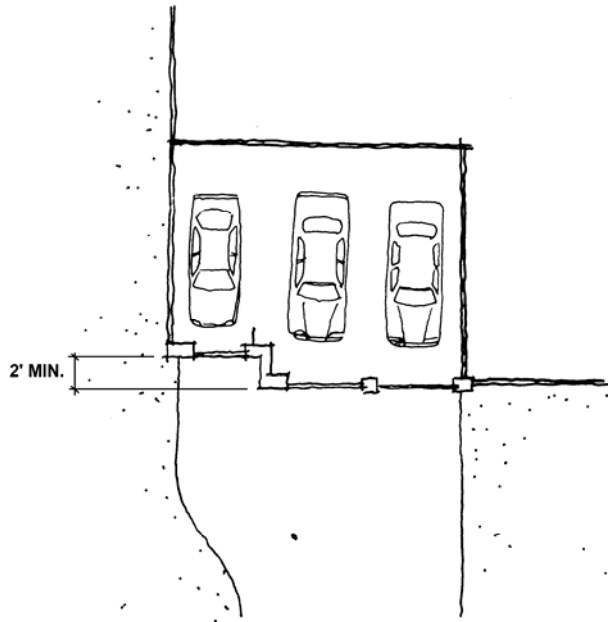
The Single Family Development Standards are intended to create a quality living environment for Pine Creek. The standards are based on the City's development standards in the Zoning Code and Annexation, Subdivision, and Land Development Code. In some cases, the standards in Pine Creek will be more restrictive than the City.

Development standards will also vary slightly between different product segments. The Purchase Agreement identifies building and lot square footage ranges, setbacks or other development standards to supplement the Design Guidelines. The builder or parcel developer shall meet with the ARB to review the appropriate standards.

2.4.2 BUILDING SETBACKS

The minimum building setbacks are established by the City Zoning Code and the City-approved Development Plan for the parcels. The following additional setbacks shall apply:

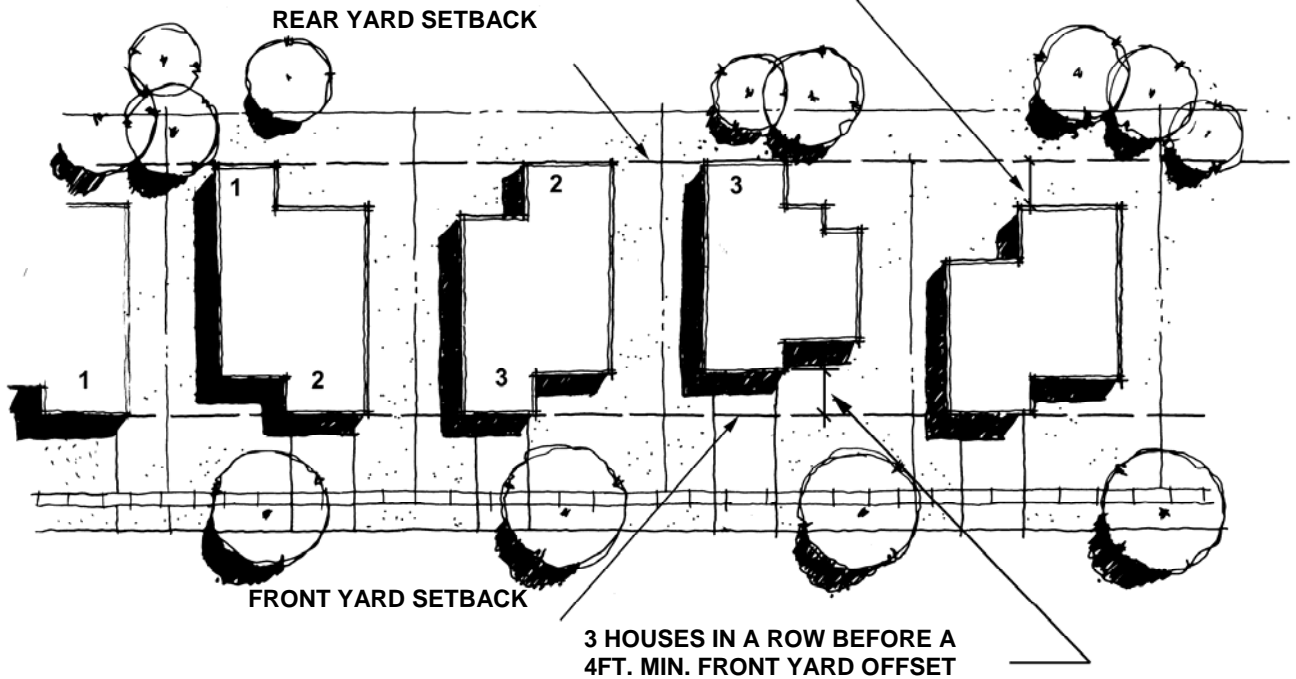
- a. Front-loaded 3-car garages, where provided, must have a 2-foot minimum off-set between the main and single garage doors. Refer to **Exhibit 2-F**. The off-set may be away from or towards the street, but in no case shall it reduce the driveway apron or setback to less than the minimum setback required by the parcel Development Plan.
- b. Builders are encouraged to stagger front setbacks on all lots. However, where houses are located on a straight section of road, a maximum of 3 houses in a row may have a common setback before a 4-foot minimum off-set is provided. Refer to **Exhibit 2-F**.
- c. Rear yard setbacks along the golf course, common area, and Village Roadways shall vary such that a maximum of 3 houses in a row may have a common setback before a 4-foot minimum off-set between houses is provided. Entry level homes shall have a maximum of 5 houses in a row before a 4-foot minimum off-set is provided. Refer to **Exhibit 2-F**.



**3-CAR GARAGES
THE MAIN AND SINGLE GARAGE DOORS**

WEEN

3 HOUSES IN A ROW BEFORE A 4FT. MIN.
REAR YARD OFFSET ALONG GOLF COURSE
(5 HOUSES FOR ENTRY LEVEL PRODUCT)



BUILDING OFFSET REQUIREMENTS (FROM MINIMUM SETBACK)

SINGLE FAMILY BUILDING OFFSETS

EXHIBIT 2-F

- d. A minimum of 50% of the total number of houses on corner lots within a parcel shall be one-story or incorporate one-story elements along the

corner lot lines. Two-story elevations shall have an additional 5-foot setback.

- e. Houses should be oriented on the lot so as not to obscure the visibility of the front door.

2.4.3 PROJECTIONS INTO SETBACKS

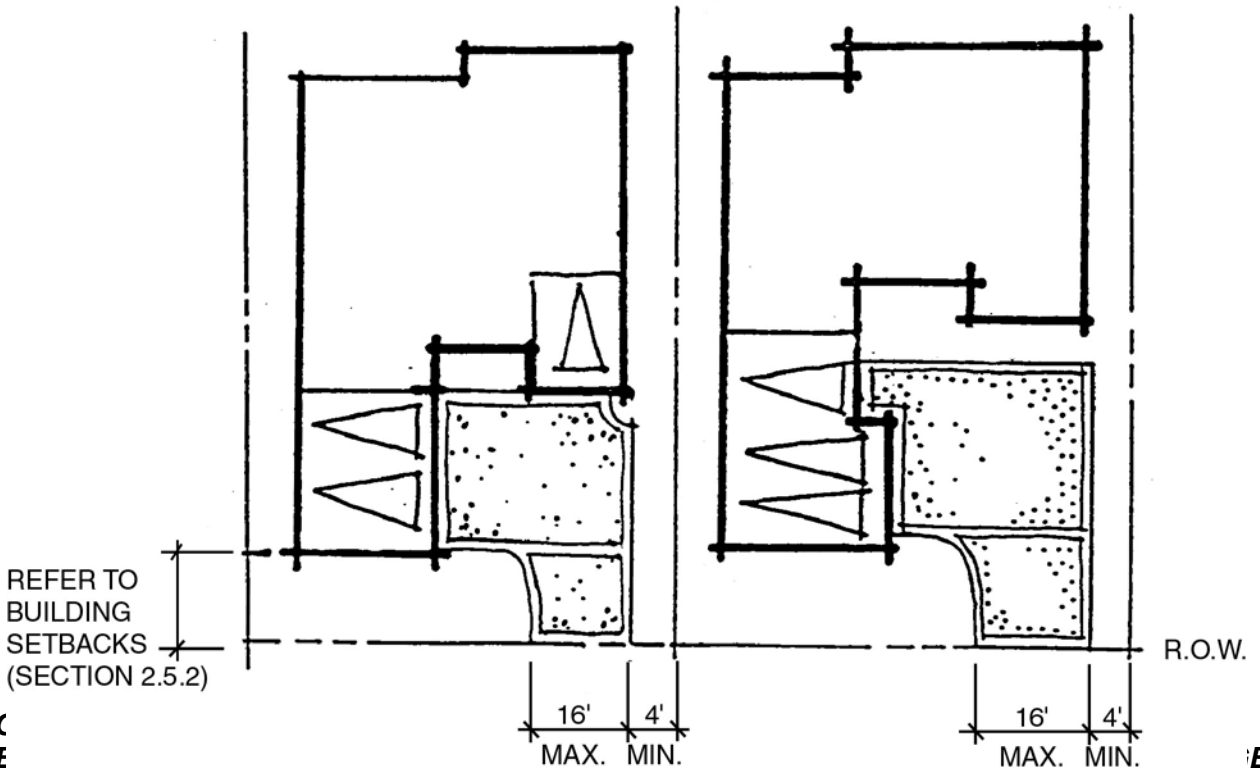
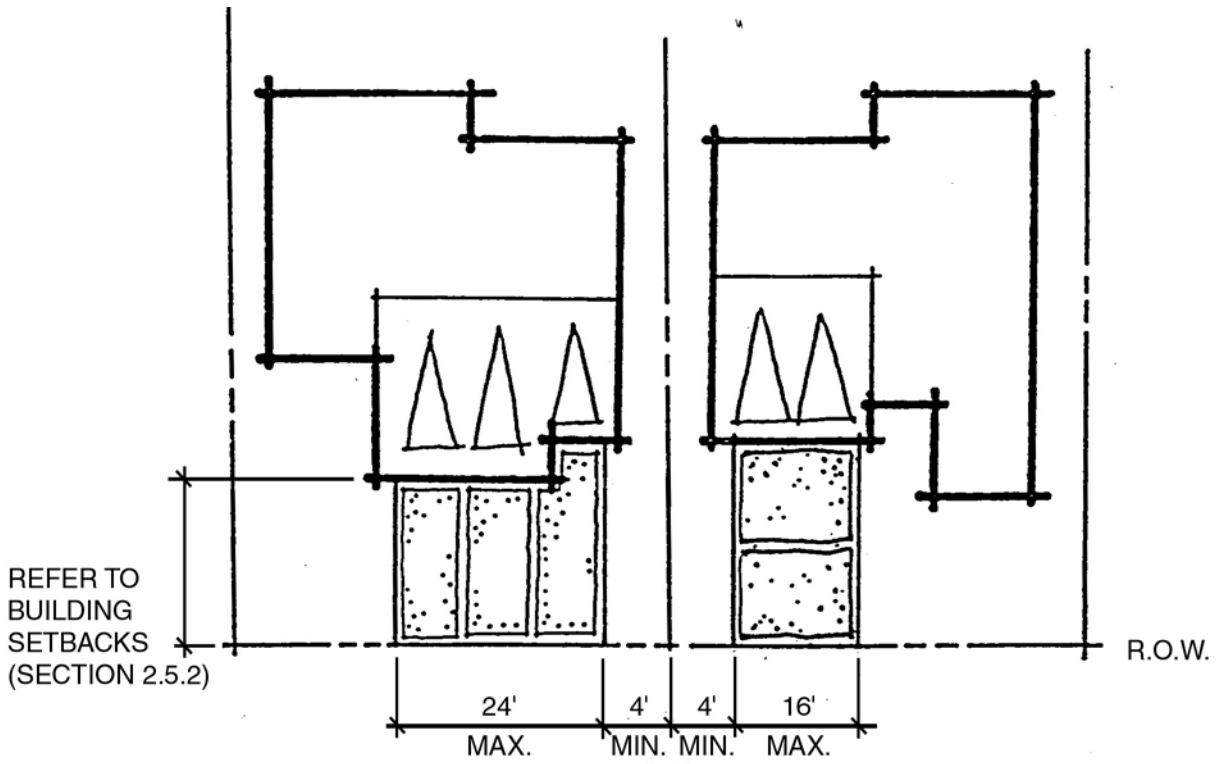
Minor encroachments or projections into setbacks for architectural features, chimneys, and uncovered decks and patios are based on the City Zoning Code. Deviations will require a variance. **Variance requests must be approved by the ARB prior to City submittal.** Local fire codes may require special building requirements for architectural elements located closer than 10 feet apart. No encroachments shall be permitted into any utility easement except as allowed by City utility standards. Refer to **Section 2.4.4.**

2.4.4 DRIVEWAYS

Driveways serving single family homes shall meet the width and lot coverage requirements identified in the City Zoning Code as well as the following:

- a. Driveways for front-loaded 3-car garages shall not exceed 24-foot-width at the R.O.W.
- b. Driveways for front-loaded 2-car garages shall not exceed 16-foot-width at the R.O.W.
- c. c. Driveways for side-loaded (turn-in) garages shall not exceed 16-foot-width at the R.O.W.
- d. Paved driveway width shall not exceed the width of the garage face. Decorative rocks or pavers may be placed along the length of the driveway at a maximum of 3 feet in width.
- e. No driveway shall be located within 4-feet of a side property line.
- f. Driveways shall intersect the R.O.W. at right angles unless unusual site conditions prevent complying with this requirement.
- g. **Driveway grades shall not exceed a 10% slope from the back of sidewalk to the garage face.** Driveways steeper than 10% will be reviewed on a case-by-case basis by the ARB.

Refer to **Exhibit 2-G** for single family development requirements.



**NC
RE
REQUIREMENTS.**

SINGLE FAMILY DRIVEWAYS

EXHIBIT 2-G

2.5 CLUSTER SINGLE FAMILY STANDARDS AND SETBACKS

2.5.1 CLUSTER SINGLE FAMILY DEVELOPMENT STANDARDS

Cluster single family standards are intended to allow for creative and innovative site planning solutions for a wide variety of single family attached (maximum of 4 units per building) or small-lot (including high-density) single family detached residences with private open space areas.

Because of the variety of product types and lotting configurations, specific building standards/setbacks along with final site plans, architecture and engineering will be reviewed by the ARB for creative content on a case-by-case basis. Cluster single family projects may be reviewed using the single family detached or multi-family building standards and setback guidelines at the discretion of the ARB.

2.5.2 BUILDING SETBACKS

Setbacks shall be determined on a case-by-case basis by the ARB in conjunction with City of Colorado Springs requirements.

2.5.3 CLUSTER HOUSING QUALITIES AND LOTTING OPTIONS

Cluster developments should borrow special design elements from quality single-family attached and multi-housing concepts, including:

- a. Narrower street sections that promote pedestrian activity and help minimize through traffic (may require private streets);
- b. Grouped and visitor parking areas, including landscaped auto-courts with parking bays;
- c. Coordinated street furniture, including special lighting, signage, and grouped mailboxes;
- d. Architecturally compatible walls for screening private patio areas and courtyards (as opposed to conventional, property-line fencing).
- e. Short cul-de-sacs, shared drives, and curvilinear and loop streets;
- f. Eyebrow streets and small loop streets that function as access streets and parking areas for adjacent homes, usually incorporating landscaped islands;
- g. Lots and buildings sited to maximize common areas and recreational opportunities;
- h. Common open space which is easily accessible to residents and pedestrians, and visible from a number of homes and/or buildings;

- i. Innovative lotting configurations and building orientations, including but not limited to zero-lot-line homes (to create more usable yard space), keyhole lots, wide-shallow lots, attached and detached “lifestyle” homes, Z-lots, flag lots, court-yard homes and a variety of attached unit types such as duplex and triplex homes;
- j. A variety of unit widths, lot configurations, and architectural massing along the streetscape;
- k. Varied garage locations and orientations, including both side-and rear-loaded; and
- l. Floor plans that offer options for presenting either “front” or “side” elevations to the street.

Refer to **Exhibit 2-H** for typical cluster housing qualities.

2.6 MULTI-FAMILY STANDARDS AND SETBACKS

2.6.1 MULTI-FAMILY BUILDING STANDARDS

Multi-family building standards are intended to provide for a high-quality living environment to assure land-use compatibility with surrounding uses and respond to the natural site features. Multi-family standards apply to townhomes, condominiums and apartments or other innovative products which do not fit within the cluster single-family standards.

The builder shall meet with the ARB to determine the building program and the appropriate standards. Where no standards are listed here, the City Standards shall prevail. In some cases, the Design Guidelines will be more restrictive than the City.

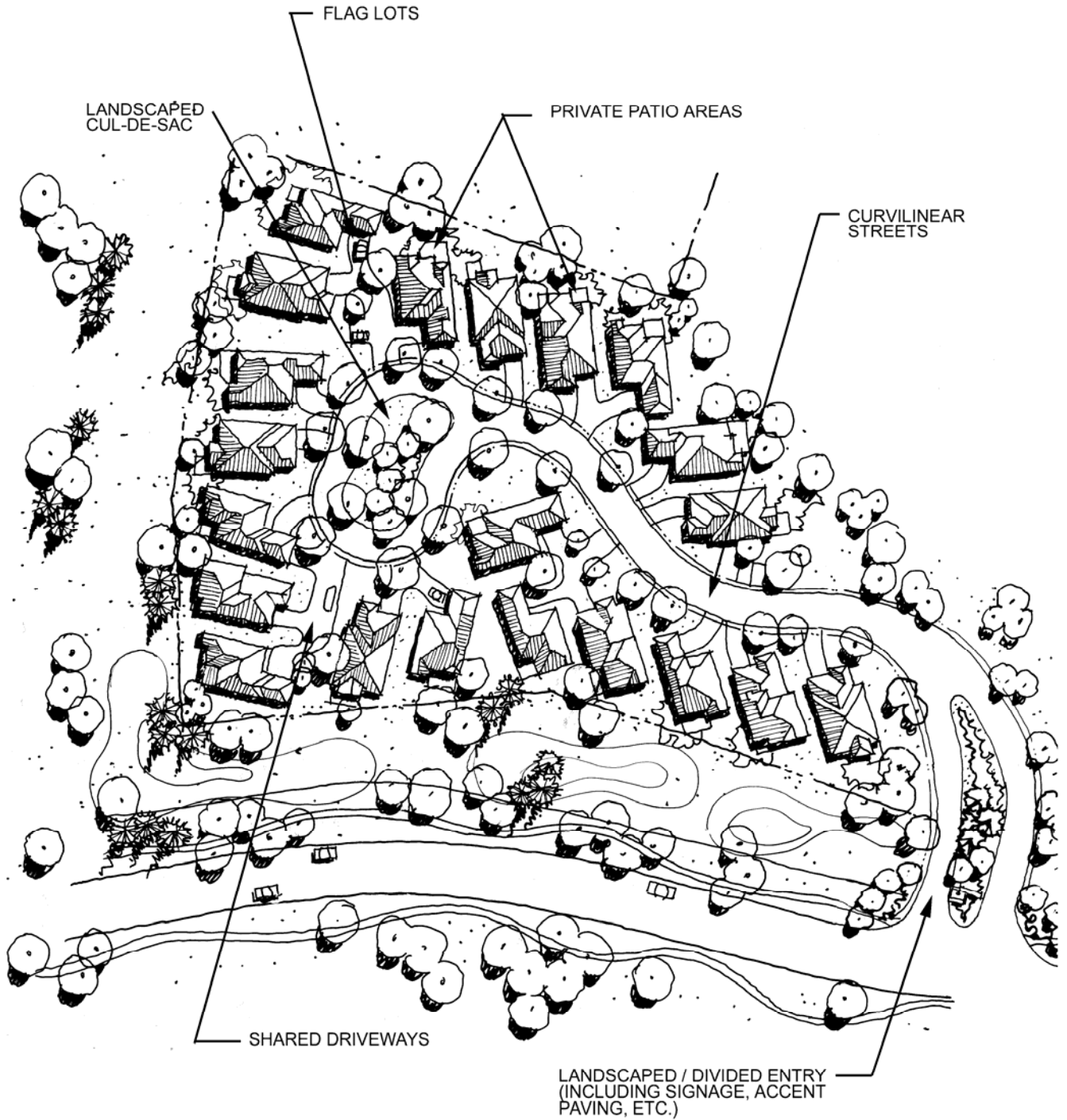
2.6.2 BUILDING SETBACKS

Building setbacks are measured from exterior walls enclosing livable or usable interior space or from face of stairways, balconies or utility closets. Refer to **Section 2.4.3** for projections into setbacks.

a. Building Setbacks from Exterior Property Line:

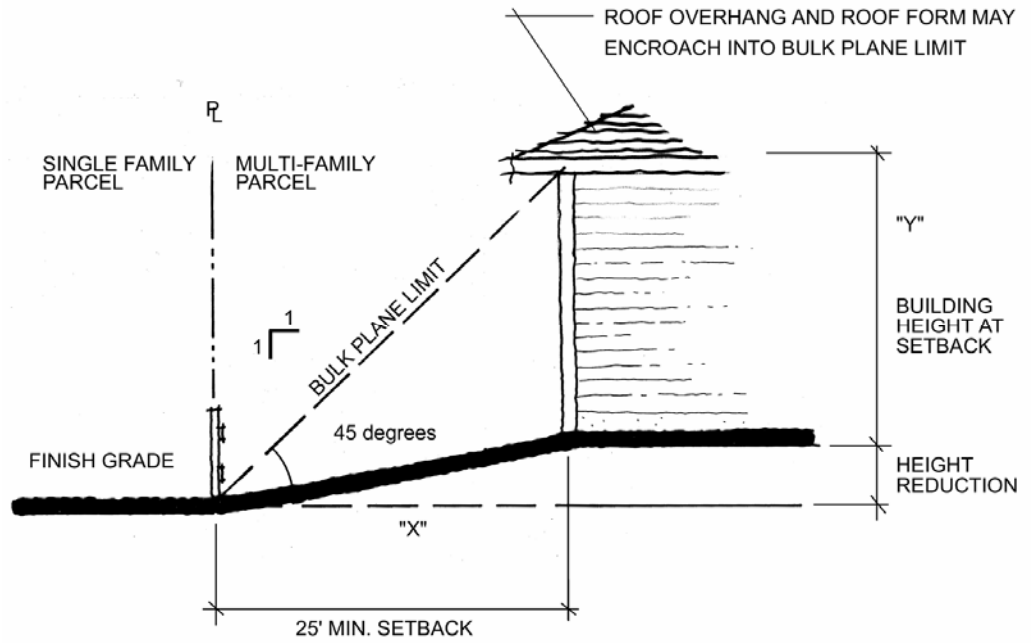
- Major Arterial Roadways: 25 feet min.
- Other Village Roadways: 20 feet min.
- Residential Parcel*: 25 feet min.
- Commercial Parcel: 20 feet min.
- Golf Course or Common Area: 20 feet min.

* Note: An additional 1:1 bulk plane setback shall apply along single family residential parcel boundaries. For example, a maximum 25 foot building height is allowed at 25 foot setback as measured from the finish grade at the property line. Refer to **Exhibit 2-I**. Roof overhang and roof form may encroach into the bulk plane limit.

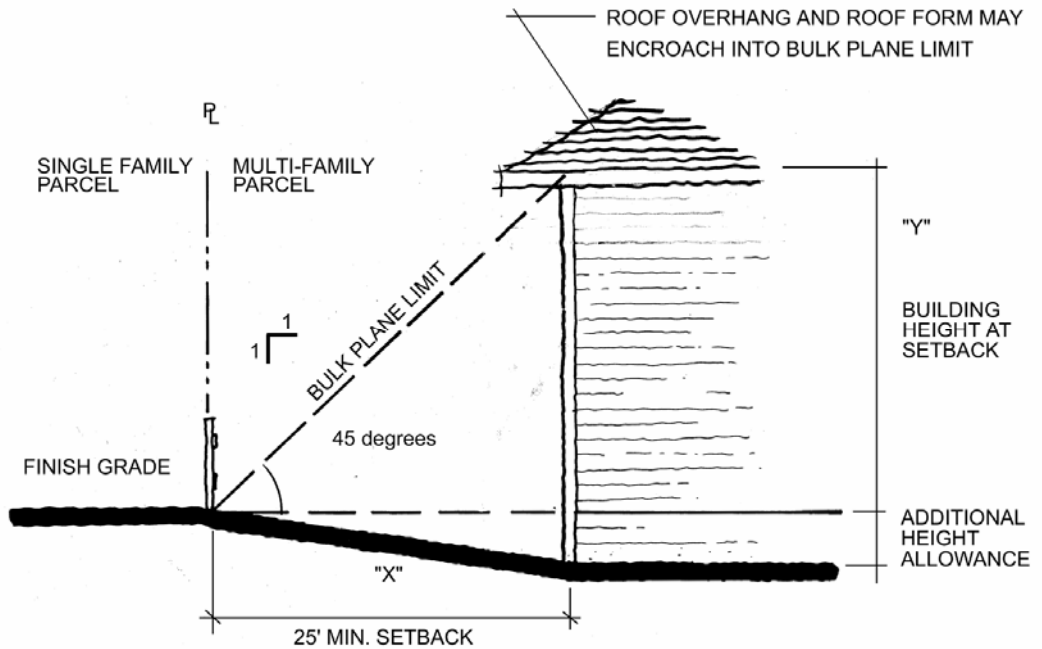


TYPICAL CLUSTER HOUSING QUALITIES

EXHIBIT 2-H



RAISING MULTI-FAMILY BUILDING PAD DECREASES ALLOWABLE BUILDING HEIGHT



LOWERING MULTI-FAMILY BUILDING PAD ALLOWS FOR ADDITIONAL BUILDING HEIGHT

MULTI-FAMILY / SINGLE FAMILY BULK PLANE

EXHIBIT 2-I

b. Building Setbacks to Private Drives:

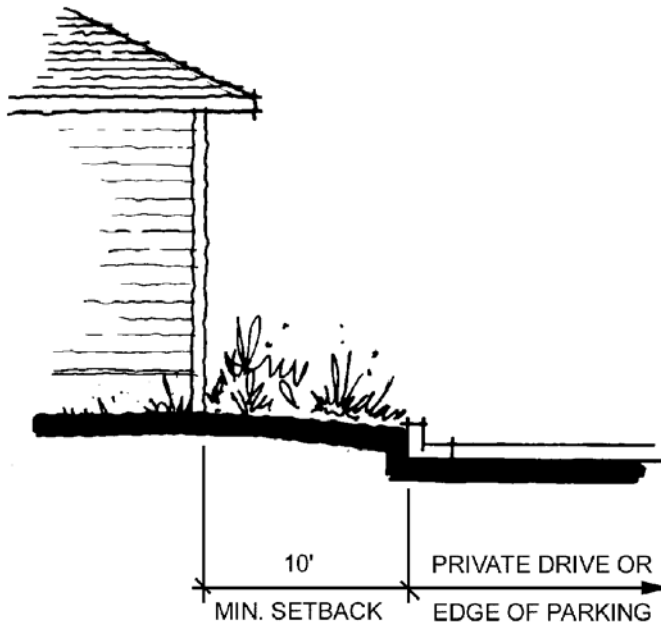
- Livable Interior Space* - 10 feet min. from edge of drive
- Garage Door – 5 feet to 8 feet or 18 feet or greater

* Note: Any sidewalk located within the 10' setback must be a minimum of 6' from any building. Refer to **Exhibit 2-J**.

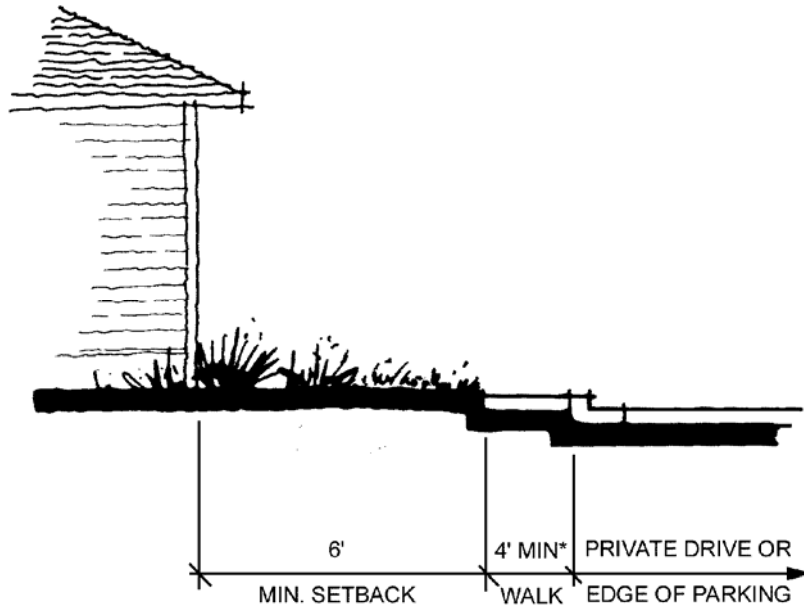
c. Building to Building Setbacks*:

- Side to Side: 10 feet min./15 feet average
- Side to Front: 15 feet min./20 feet average
- Front to Front: 25 feet min./30 feet average

* Note: For the purposes of measuring setbacks in multi-family developments, elevations containing an entry are considered a front. All other elevations are considered a side. Refer to **Exhibit 2-K** for minimum and average setback calculation method.



NON-SIDEWALK CONDITION

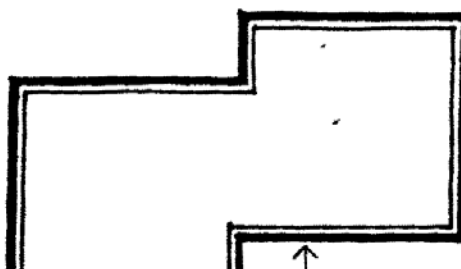


*NOTE:
 WHEN SIDEWALK IS NEXT TO PARKING WITH TIRE STOPS, MINIMUM WIDTH IS 4 FEET. WHEN NEXT TO PARKING WITHOUT TIRE STOPS, MINIMUM WIDTH IS 6 FEET.

SIDEWALK CONDITION

MULTI-FAMILY TO PRIVATE DRIVE SETBACK

EXHIBIT 2-J



REQUIRED SETBACK EQUALS AVERAGES OF DISTANCES 1,2, AND 3

REQUIRED SETBACK EQUALS AVERAGES OF DISTANCES 1,2, 3, AND 4

MULTI-FAMILY BUILDING TO BUILDING SETBACKS

EXHIBIT 2-K

3. Architecture

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3. Architecture

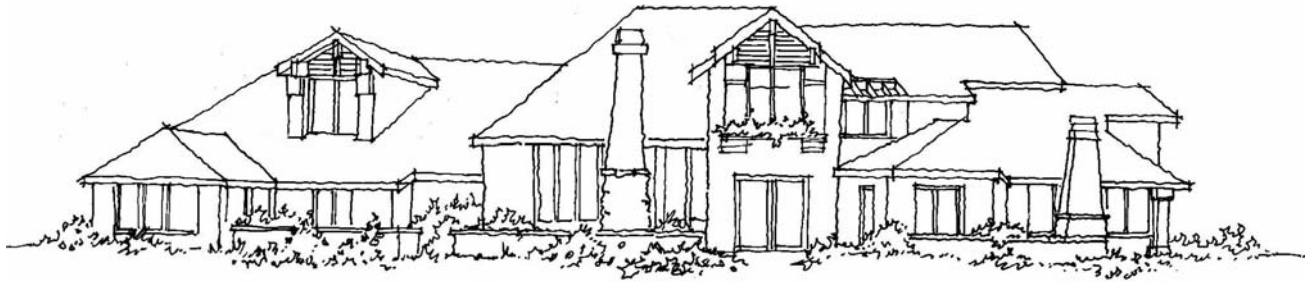
3.1 PURPOSE

The architecture guidelines for Pine Creek promote a high level of design quality and variety; assure compatibility within and between residential parcels; and set architectural character and form, which, together, comprise an essential part of Pine Creek's desired image.

The design principles and features to be used to achieve the architectural character for Pine Creek include:

- a. **Architectural themeing, including Prairie, Craftsman, Spanish Eclectic, and European Cottage style architecture.** These are the only styles appropriate at Pine Creek. All building elevations should be a strong expression of one of these styles. Examples of these architectural styles are available from the Master Developer.
- b. **Articulated building forms** including a combination of 1-and 2-story building forms and elements, which provide transitions to individual sites and adjacent houses, as well as a comfortable relationship to human proportions.
- c. **Strong and compatible design elements and details** which help articulate building forms and add depth, shadows, visual interest, and relief to individual houses and the streetscene. Such elements include covered porches and entryways, balconies, roof overhangs, bay and box windows, and the handling of window and door openings.
- d. **Interesting and varied streetscape architecture** which de-emphasizes and mitigates the impact of garages. Usable front porches, covered entryways, and varied garage orientations and setbacks are important components. Providing a variety of architectural styles and building elevations enlivens the streetscene.
- e. **Building materials with appropriate colors and textures** including masonry and stucco to provide visual interest, depth, and detail, as well as a desirable "natural" look. Roof and paint colors have been selected appropriate for each of the architectural styles.

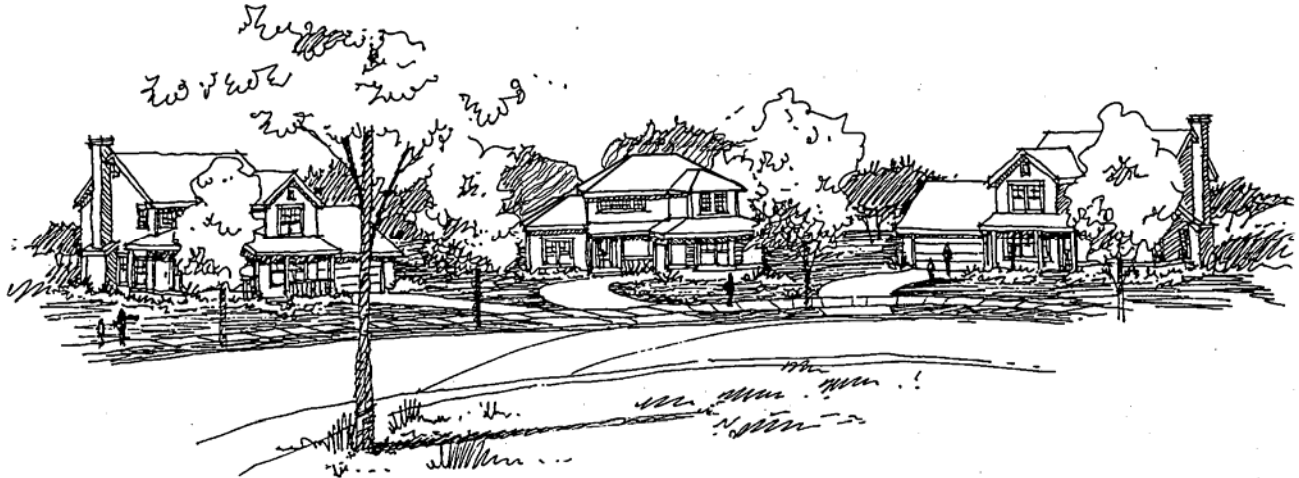
Refer to **Exhibit 3-A** for examples of appropriate architectural design principles.



ARTICULATED BUILDING FORMS



STRONG AND COMPATIBLE DESIGN ELEMENTS AND DETAILS



INTERESTING AND VARIED STREETScape ARCHITECTURE



NATURAL BUILDING MATERIALS WITH STRONG TEXTURES

ARCHITECTURAL DESIGN PRINCIPLES

EXHIBIT 3-A

3.2 ARCHITECTURAL CHARACTER

Historic Colorado Springs contains an eclectic blend of architectural styles unique to the region that have evolved through four dominant styles in the City. The Prairie Style from the Midwest, the Craftsman Style from California, the Spanish Eclectic Style from the southwest, and European Cottage are merged into a rich vocabulary of building forms and detailing. Each home within Pine Creek shall incorporate a modern architectural interpretation of one of these styles into its design. By incorporating these architectural influences, Pine Creek will emerge as a distinctive community, reflecting historic character in contemporary residential neighborhoods.

Builders may choose to use one or all four styles within a neighborhood. A summary of the architectural character and major design elements of each historic style is described below. The accompanying exhibits illustrate both the historic architectural character (**Exhibits 3-B, C, D & E**), as well as a prototypical contemporary interpretation of each style suitable for Pine Creek (**Exhibit 3-F**).

3.2.1 PRAIRIE STYLE

One of the few indigenous American styles, Prairie Style architecture originated in Chicago and was developed by the “Prairie School” architects, including the well-known Frank Lloyd Wright. Landmark examples are concentrated in early 20th-century suburbs in the Midwest, although vernacular examples can be found throughout the country. Key identifying features to be used when designing Prairie Style homes within Pine Creek include:

- Low-pitched hipped roofs
- Deep-overhanging enclosed eaves
- Two-story main body massing with single-story wings or porches
- Details that emphasize horizontal lines
- Massive square porch supports
- Brick, stone and stucco wall materials

Refer to **Exhibits 3-B and 3-F**.

3.2.2 CRAFTSMAN STYLE

The Craftsman Style originated in California and, through “pattern books” and the offering of pre-cut lumber packages, quickly became the dominant style for smaller houses built throughout the country in the early 1900’s. Though bungalows are the most common form, “high-style” interpretations can be found. Key identifying features to be used when designing Craftsman Style homes within Pine Creek include:

- Low-pitched gable roofs
- Deep-overhanging unenclosed eaves
- Exposed rafter tails
- Decorative beams and braces usually added under gables
- Front porches (sometimes side and rear)
- Porch supports that are usually battered, square columns
- Lap siding, stucco, brick or stone wall materials

Refer to **Exhibits 3-C and 3-F**.

3.2.3 SPANISH ECLECTIC STYLE

Originating in Latin America, the Spanish Eclectic Style is found primarily in the southwestern states of California, Arizona, New Mexico, Texas, in addition to Florida. It is influenced by a variety of traditional forms. Key identifying features to be used when designing Spanish Eclectic Style homes within Pine Creek include:

- Low-pitched or flat roofs
- Prominent arches
- Asymmetrical facades
- Rambling forms
- Integral colonnades, decks, and porticos
- Stucco, stone or adobe brick wall materials
- Barreled tile roof materials

Refer to **Exhibits 3-D and 3-F**.

3.2.4 EUROPEAN COTTAGE STYLE

The European Cottage Style is an eclectic style popular during the 20's and 30's that richly expressed French or English influences imported after World War I. These houses were typically based on simple forms and diverse detailing. The architectural detailing was generally reflective of the specific influence being expressed, however, it was not uncommon to see the two influences freely mixed. These influences were often applied to smaller, more modest homes for a quaint look yet could work as well on larger homes for a grander feel. Key identifying features to be used when designing European Cottage Style homes within Pine Creek include:

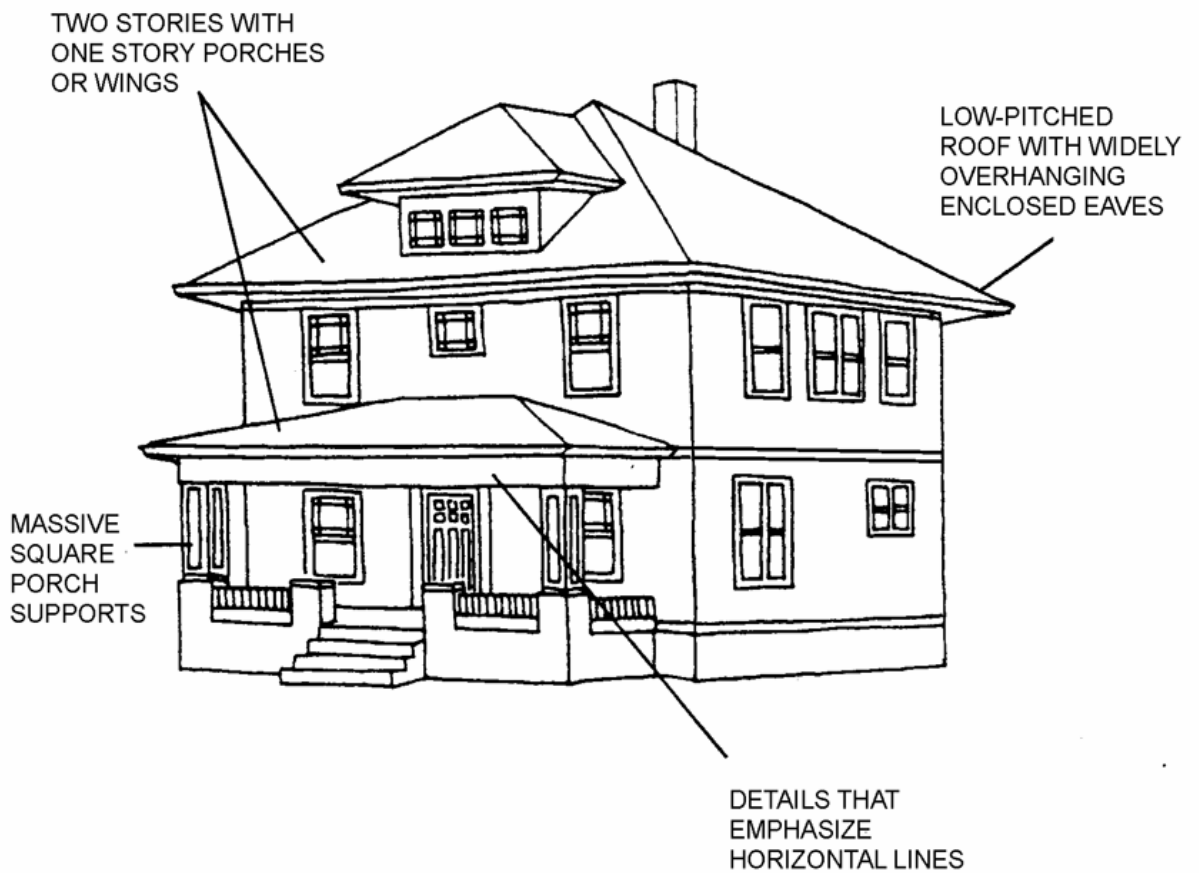
French Influence

- Medium to steeply pitched roofs
- Mostly hipped roofs with gables used only on towered designs
- Dormers used to break up rooflines or eavelines: arched, hipped and gabled were most common dormer types
- Symmetrical, asymmetrical and towered massing configurations
- Short to medium eave overhangs, can be flared or swooped
- Simple arched openings at informal entries and ornamental surrounds at formal entries
- Shutters and French doors
- Brick, stone or stucco as wall materials

English Influence

- Medium to steeply pitched roofs
- Typically gabled roofs, often with multiple gables
- Tight or short eave overhangs, gable ends can be parapeted
- Windows grouped in multiples and with multiple panes
- Massive chimney elements with decorative pots
- Half-timbering wall treatments
- Cozy and intimate entries, often set into arched openings
- Dormers used to break up rooflines or eavelines: gabled were most common dormer type
- Stone, brick, stucco or wood as wall materials

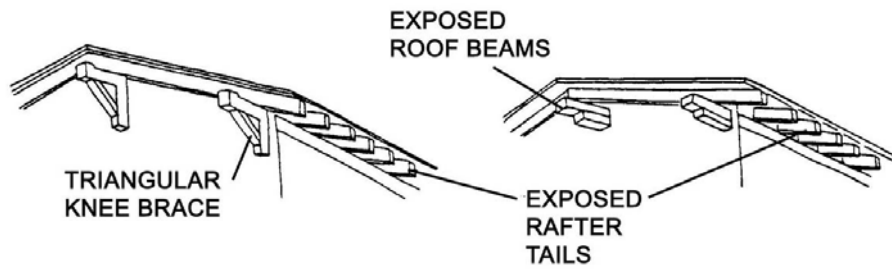
Refer to **Exhibit 3-E and 3-F**.



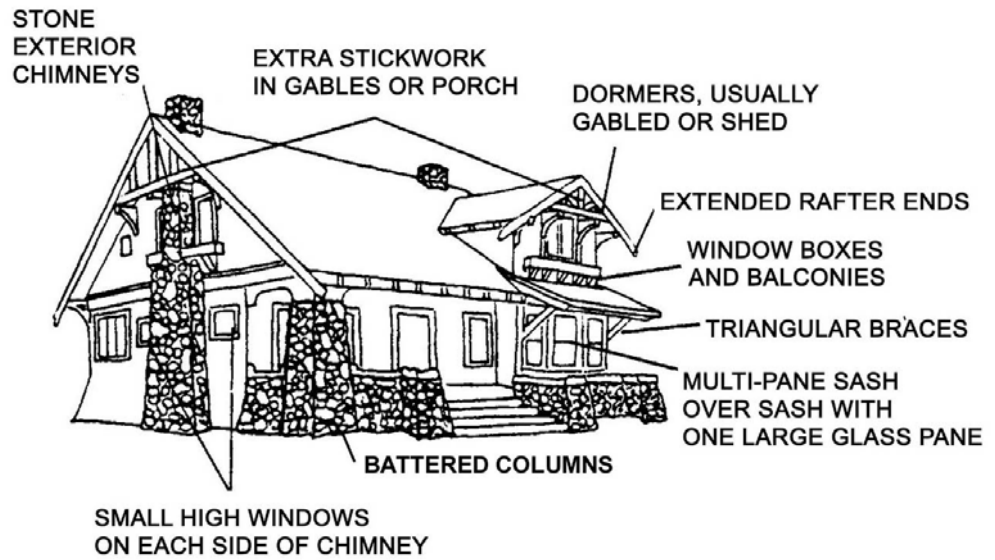
TYPIC.

HISTORIC PRAIRIE STYLE

EXHIBIT 3-B



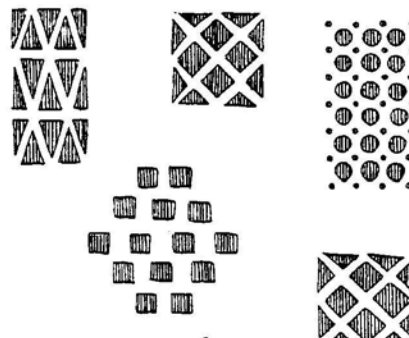
TYPICAL ROOF DETAILS



TYPICAL ARCHITECTURAL FORMS AND DETAILS

HISTORIC CRAFTSMAN STYLE

EXHIBIT 3-C



HISTORIC BRANCH ECLECTIC STYLE

EXHIBIT A



TYPICAL ENTRIES



SYMMETRICAL



ASYMMETRICAL

P



ARCHED



CIRCULAR



HIPPED

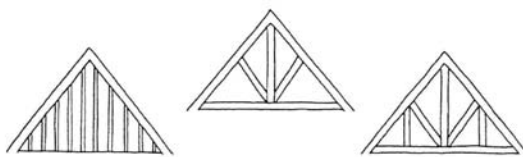


GABLED

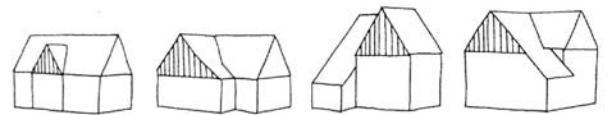


HISTORIC EUROPEAN COTTAGE STYLE – FRENCH INFLUENCE

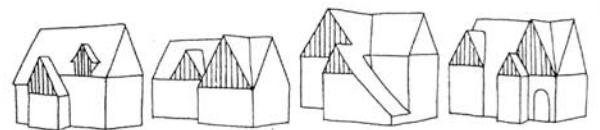
EXHIBIT 3-E



**HALF-TIMBER
PATTERNS**

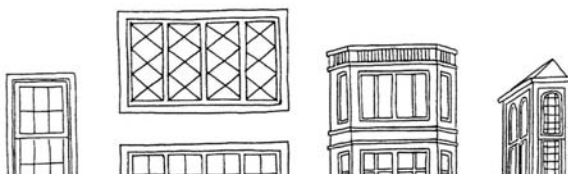


SINGLE DOMINANT FRONT GABLE



MULTIPLE FRONT GABLE

PIN

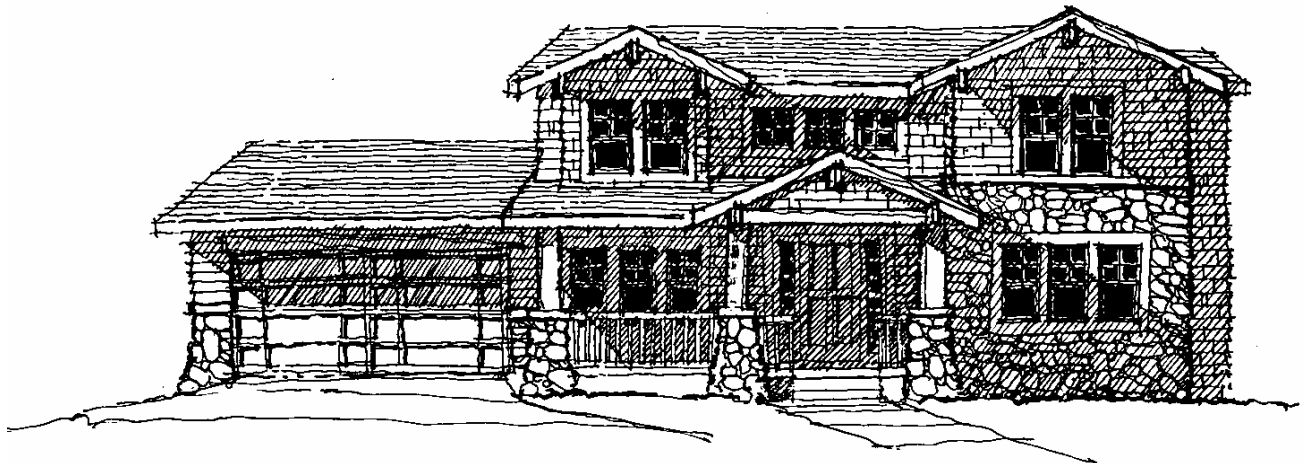


HISTORIC EUROPEAN COTTAGE STYLE – ENGLISH INFLUENCE EXHIBIT 3-E (cont.)



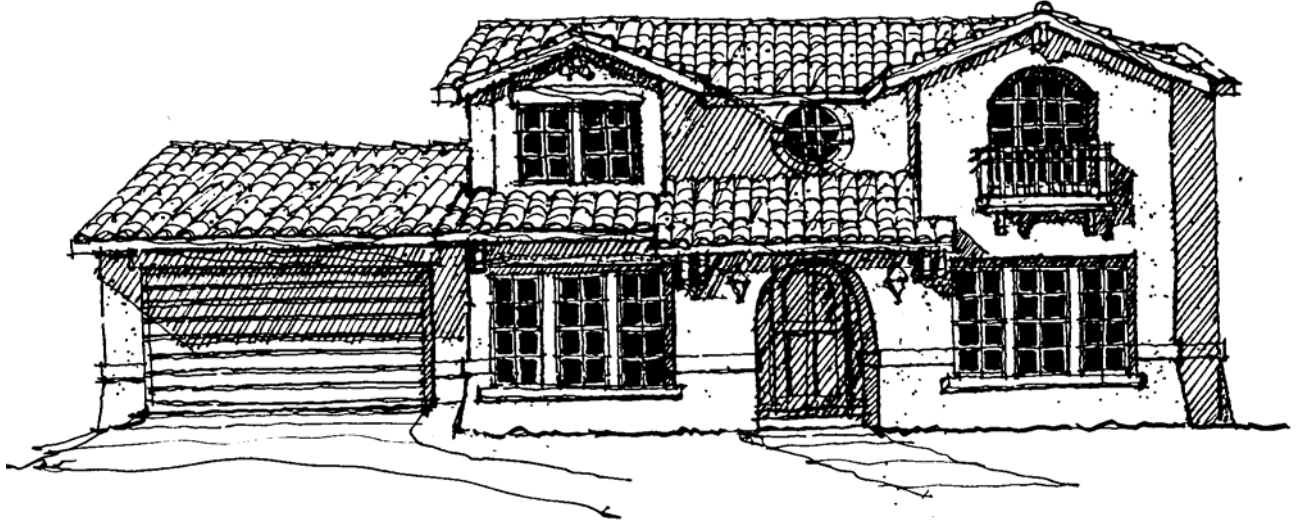
PRAIRIE STYLE

- LOW PITCHED HIPPED ROOF FORMS WITH DEEP OVERHANGING EAVES
- DETAILS THAT EMPHASIZE HORIZONTAL LINES
- TWO STORY MAIN BODY MASSING WITH SINGLE-STORY ELEMENTS (I.E. PORCH)
- MASSIVE SQUARE PORCH SUPPORTS



CRAFTSMAN STYLE

- LOW-PITCHED GABLE ROOF FORMS
- GABLE-END DETAILS (BRACKETS, EXPOSED RAFTER TAILS AND ROOF BEAMS, ETC.)
- FRONT PORCH WITH BATTERED COLUMN SUPPORTS



SPANISH ECLECTIC STYLE

- LOW-PITCHED ROOF FORMS WITH BARREL TILE
- INTEGRAL COLONNADES AND PORTICOS
- PROMINENT ARCHES (DOORWAYS AND WINDOWS)
- ASYMMETRICAL FACADES



EUROPEAN COTTAGE STYLE

- MEDIUM TO STEEPLY PITCHED ROOF FORMS
- MULTIPLE WALL MATERIALS
- ALCOVE ENTRY
- SHUTTERS
- ARCHED OPENINGS

ARCHITECTURAL STYLE COMPARISON

3.3 BUILDING MASSING

EXHIBIT 3-F (cont.)

The mass of a house or residential building should be scaled to reduce its apparent size, provide visual interest and depth, and achieve a more articulated form. Refer to **Exhibit 3-G**. **Box-like designs are not acceptable**. The following is required for both single-family and multi-family buildings in Pine Creek:

3.3.1 ONE-STORY ELEMENTS

The front elevation of all buildings shall incorporate a one-story element a minimum of 5-feet in depth. The rear elevation of all homes abutting village roadways, the golf course or common areas shall also incorporate a one-story element a minimum of 5-feet in depth on a minimum of 50% of the elevation.

The rear one story requirement may be met by use of a deck with deck cover. Where a deck is greater than 18" above grade, the deck must be the minimal width and depth of the deck cover excluding roof overhang. This requirement is waived for entry-level projects.

3.3.2 INTEGRATING GARAGES

Front-loaded garages shall not project more than 15-feet from the main building face so as not to appear tacked on. The projection may be measured from the front porch if, in the ARB's discretion, the porch provides substantial architectural interest. Side-loaded garage projections shall be minimized. The width of the garage shall not exceed 60% of the width of the front elevation for 2nd time move-up and above. Entry level and 1st time move-up shall not exceed 65%. This requirement is waived for single-family attached and multi-family projects.

3.3.3 VARY BUILDING MASS

Consideration should be given to the design of upper levels and how these masses will appear from streets, adjacent parcels, golf course or common areas. Variety will be achieved by "moving" upper level orientations and locations. Avoid repetitive forms over garages.

3.3.4 VARY SHAPES AND FORMS

Architectural projections such as roof overhangs, bay and box windows, chimneys, and covered porches, to create depth and shadows should be incorporated to reduce the mass of the house. Refer to **Section 3.5**.

3.3.5 REDUCE BULK

Design building elements that are visually more massive or "heavier" below, and those that are less massive and visually "lighter" above. A second story should not appear heavier and have disproportionately greater bulk than the portion of the building (or columns) that supports it. Refer to **Sections 2.5 through 2.7** for additional setback standards.



FRONT ELEVATIC

PTH)



REAR ELEVATION SHALL INCORPORATE ONE STORY ELEMENTS (MINIMUM 5 FEET IN DEPTH) ADJACENT TO GOLF COURSE, COMMON AREAS, AND VILLAGE ROADWAYS



MITIGATE THE IMPACT OF GARAGES BY INTEGRATING THEM INTO THE FLOOR PLAN

BUILDING MASSING

EXHIBIT 3-G

PINE

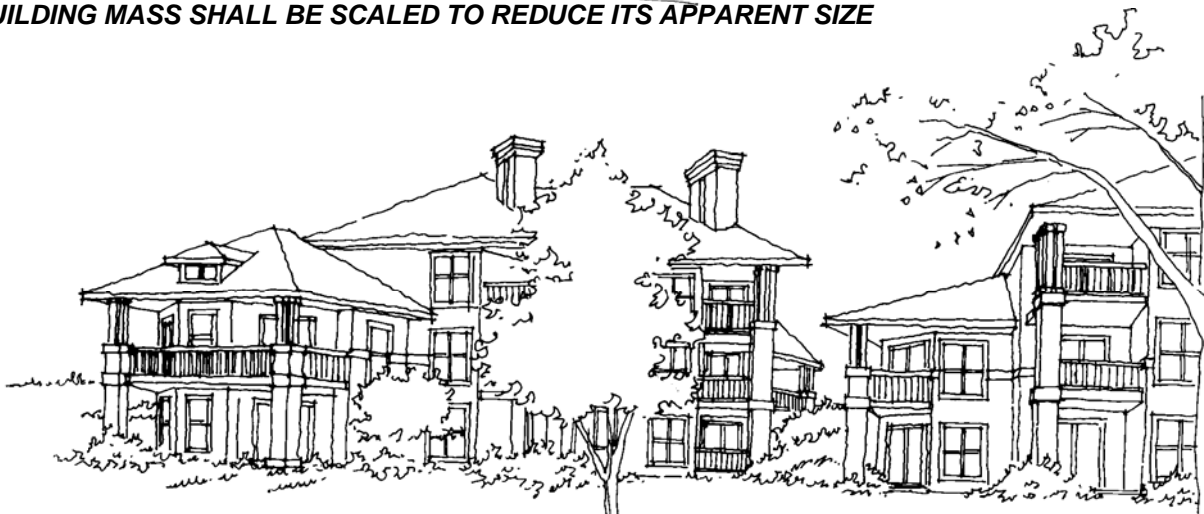


RE 3 - 13

THE WIDTH OF GARAGES SHALL NOT EXCEED 60% OF THE WIDTH OF THE HOUSE FOR 2nd TIME MOVE-UP AND ABOVE. ENTRY LEVEL AND 1st TIME MOVE-UP SHALL NOT EXCEED 65%.



BUILDING MASS SHALL BE SCALED TO REDUCE ITS APPARENT SIZE



BUILDING MASS SHALL BE SCALED TO REDUCE ITS APPARENT SIZE
BUILDING MASSING

EXHIBIT 3-G (cont.)



UTILIZE A VARIETY OF SHAPES AND FORMS – INCLUDING CHIMNEYS, BAY AND BOX WINDOWS, AND ROOF OVERHANGS



INCORPORATE CONTRASTING SHAPES AND FORMS



STEP-DOWN OR STEP-BACK BUILDING HEIGHT AND MASS TOWARD THE STRUCTURE'S EDGE, DESIGN BUILDING MASSES/ELEMENTS WHICH ARE HEAVIER BELOW AND LIGHTER ABOVE

BUILDING MASSING

EXHIBIT 3-G (cont.)

3.4 ROOF FORMS AND ELEMENTS

3.4.1 ROOF FORM

In general, a simple, dominant roof form should be used in conjunction with complimentary, secondary, and minor roof forms/elements. The dominant roof form should be oriented from front-to-back in order to lower apparent roof heights and reduce the impacts of high gable roof ends from the street. Refer to **Exhibit 3-H**. Gables, dormers, and other smaller roof elements

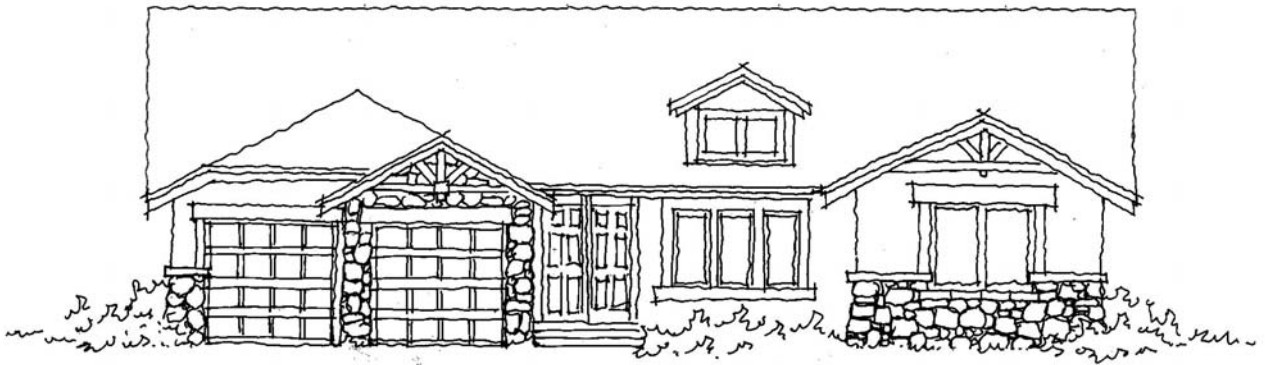
should be proportional to the spaces they cover and to overall roof sizes and forms. Refer to **Section 3.6** for acceptable roof materials and colors.

- a. **Prairie Style** – Hip roof form required for main roof. Gables are permitted on dormers and porches as an accent element.
- b. **Craftsman Style** – Gable or clipped gable roof forms required for main roof. Shed and hip roofs are permitted on dormers and porches as an accent element.
- c. **Spanish Eclectic Style** – Hip or gable roof forms are permitted for any roof. Flat roofs with a parapet are permitted as an accent element.
- d. **European Cottage Style** – Hip, gable and tower roof forms are permitted for any roof.

3.4.2 ROOF PITCH

Specific roof pitches or slopes have been selected for each of the architectural styles as listed below. Mixing of roof pitch on a house will be permitted at the discretion of the ARB. In general, the lower roof pitch should be used for the main roof and steeper roof pitch used for accent elements only.

- a. **Prairie Style** – Roof pitch is limited to a minimum four-to-twelve (4:12) and a maximum six-to-twelve (6:12) for all roofs. Lower pitches (4:12) are preferred.
- b. **Craftsman Style** – Roof pitch is limited to a minimum four-to-twelve (4:12) and a maximum six-to-twelve (6:12) for all roofs.
- c. **Spanish Eclectic Style** – Roof pitch is limited to a minimum four-to-twelve (4:12) and a maximum six-to-twelve (6:12) for all roofs except flat roofs.
- d. **European Cottage Style** – Roof pitch is limited to a minimum six-to-twelve (6:12) and a maximum ten-to-twelve (10:12) for all roofs. Steeper roof pitch will be considered by the ARB on a case-by-case basis.



SIMPLE DOMINANT ROOF FORM IN CONJUNCTION WITH COMPLIMENTARY, SECONDARY AND MINOR ROOF FORMS/ELEMENTS



GABLES, DORMERS AND OTHER SMALLER ROOF ELEMENTS SHOULD BE PROPORTIONAL TO THE SPACES THEY COVER

ROOF FORMS

EXHIBIT 3-H

3.4.3 Roof Overhang

Roof overhangs are required to create relief and shadow patterns that visually reduce height and scale; provide shade for walls and windows; and help control rainwater. The following roof overhang requirements apply to all architectural styles:

- a. **Entry-Level and Move-Up** – 12-inch minimum roof overhang at all rakes and eaves for all architectural styles. However, overhangs may be reduced to 8-inch on accent elements when built-up cornice or barge boards are used on Spanish Eclectic or European Cottage only.
- b. **Upgrade, Executive, Custom, and Multi-Family** - 18-inch minimum roof overhang at all rakes and eaves for all architectural styles. However, overhangs may be reduced to 8-inch on accent elements when built-up cornice or barge boards are used on Spanish Eclectic or European Cottage only.

3.4.4 EAVE, FASCIA AND SOFFIT DETAIL

Eaves, fascias and soffits shall be detailed appropriately for each architectural style. Fascia boards must be 6-inch minimum for entry-level and move-up and 8-inch minimum for upgrade, executive, custom, and multi-family. The following is a general guideline for eaves and soffits:

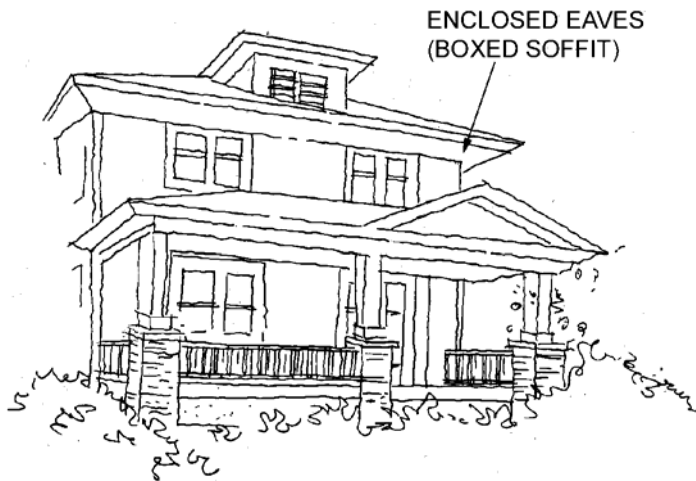
- a. **Prairie Style** – Enclosed eaves (i.e. boxed soffit) with simple fascias and soffits.
- b. **Craftsman Style** – Open or enclosed eaves with exposed rafter tails, roof beams or knee braces.
- c. **Spanish Eclectic Style** – Open or enclosed eaves with exposed rafter tails or brackets; or, enclosed eaves with a built-up cornice treatment.
- d. **European Cottage Style** – Open or enclosed eaves with a built-up cornice treatment.

Refer to **Exhibit 3-I** for typical eave, fascia and soffit details.

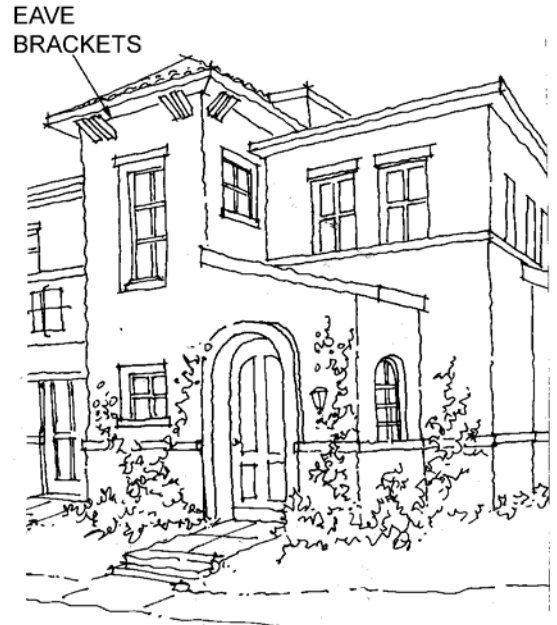
3.5 ARCHITECTURAL ELEMENTS

3.5.1 BUILDING ELEVATIONS

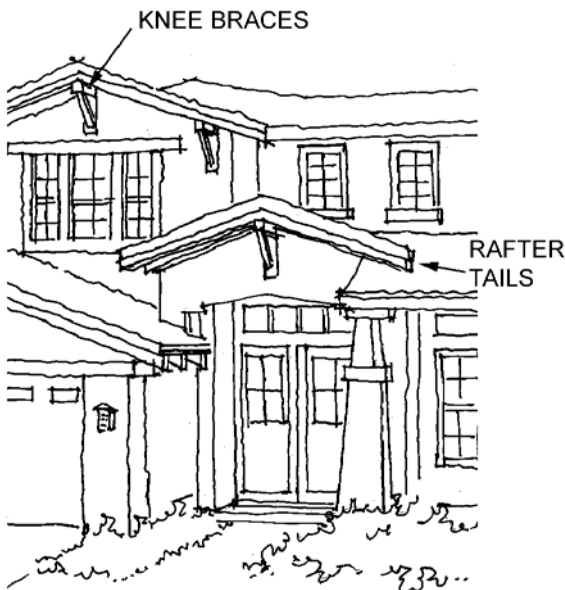
All building elevations facing a street, common area, or the golf course shall be well articulated to reduce boxiness and to strongly express the architectural styles identified in **Section 3.2**. Exposed side and rear elevations must incorporate architectural details from the front elevation. Multi-family buildings require articulation on all four elevations. Architectural submittals to the ARB shall identify the proposed style of building elevations. A minimum of two elevation designs must be offered for each floor plan.



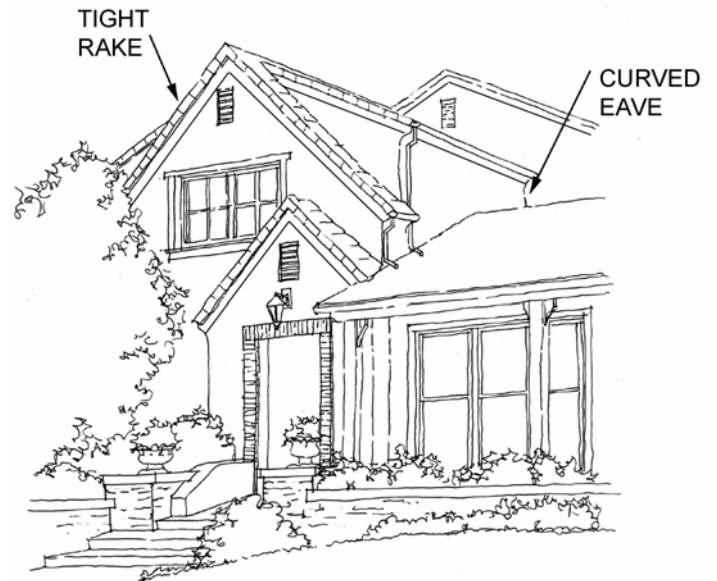
PRAIRIE STYLE
Enclosed eaves with simple fascias and soffits



SPANISH ECLECTIC STYLE
Open or enclosed eaves with exposed rafter tails or brackets



CRAFTSMAN STYLE
Open or enclosed eaves with exposed rafter tails, roof beams and knee braces



EUROPEAN COTTAGE STYLE
Open or enclosed eaves with built-up or curved cornice treatment, rakes may be tight or parapeted

EAVE, FASCIAS AND SOFFITS

EXHIBIT 3-I

The building elevation should be a strong expression of that style. Mixing of the different styles on a single building is not permitted; however, mixing of different styles within a neighborhood is allowed.

Adjacent and facing single-family residences cannot have the same or substantially similar elevation or color scheme. Refer to **Section 3.6** for additional material and color requirements.

3.5.2 COVERED ENTRYWAYS AND PORCHES

A covered entryway for the front door is required on all homes for all architectural styles. This may be accomplished by use of a porch, porte cochere, alcove, second floor overhang, etc. Minimum covered area is 25 square feet. Minimum dimension is 5 feet. Guardrails that are compatible with the architectural style are recommended for all porches. Entryway covers must utilize the same material as the main roof system. Flat roof covers must include a parapet wall compatible with the architecture of the building (Spanish Eclectic Style). Refer to **Exhibit 3-J**.

3.5.3 FRONT DOORS

Front doors shall be designed, detailed and located to be a prominent architectural element visible from the street. Full arches over the front doors are permitted on Prairie, Spanish Eclectic and European Cottage. In addition, flat (elliptical) arches are permitted on Spanish Eclectic and European Cottage only. Front doors must be trimmed with a 2-inch by 4-inch trim board minimum or recessed a minimum of 4-inches. Doors surrounded by masonry materials such as brick or stone do not require trim board.

3.5.4 GARAGES

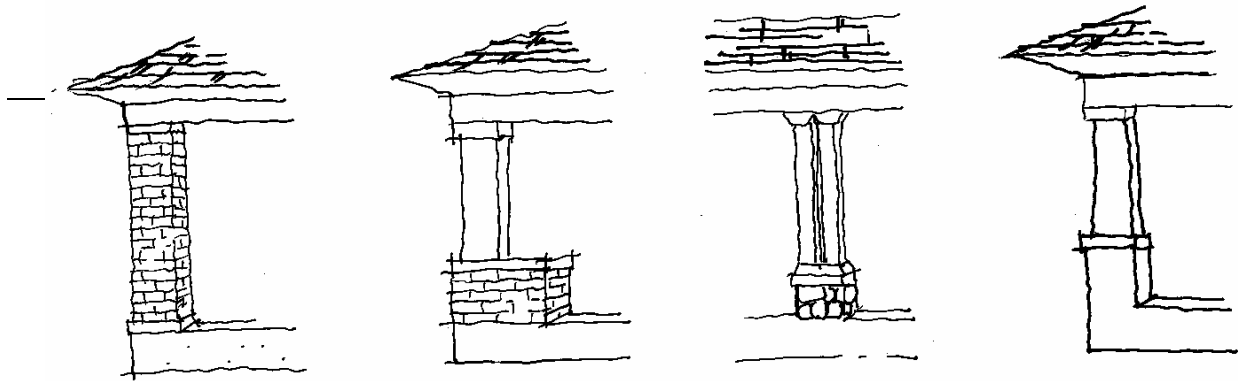
Garage elevations and doors shall be an integral part of the design of the home and not dominate or overwhelm the front elevation. Oversize garage doors (greater than 8 feet tall) are not permitted.

Architectural forms, materials and design details present in the building's elevation, including masonry and windows, shall be incorporated into the garage elevation. Refer to **Exhibit 3-K**.

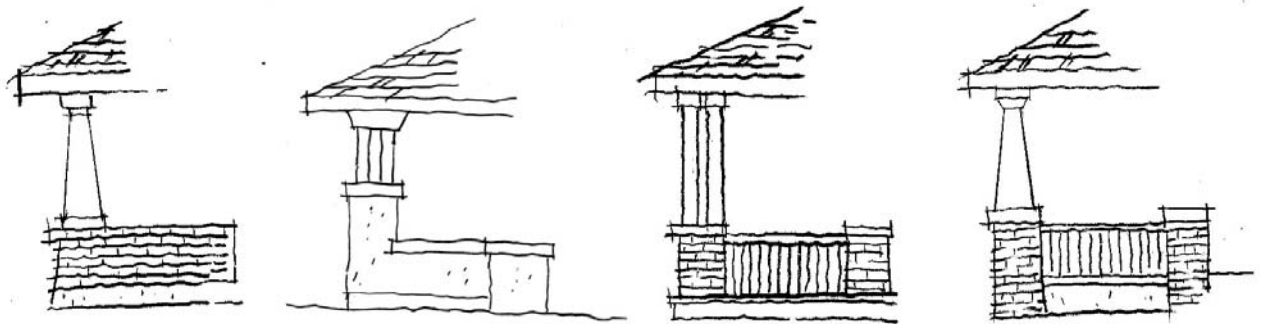
Plate height of garage elements shall not exceed 30 inches above top edge of garage door, even when this requires a separation from the main house roof. Garage doors shall be recessed 10 inches minimum. The 2-inch trim board required in **Section 3.5.5** or any masonry used adjacent to the garage door may be included in calculating the 10 inches. Refer to **Exhibit 3-K**. Garage doors shall be sectional roll-up types only. Refer to **Section 2.4.2** for 3-car garage requirements.

3.5.5 WINDOWS

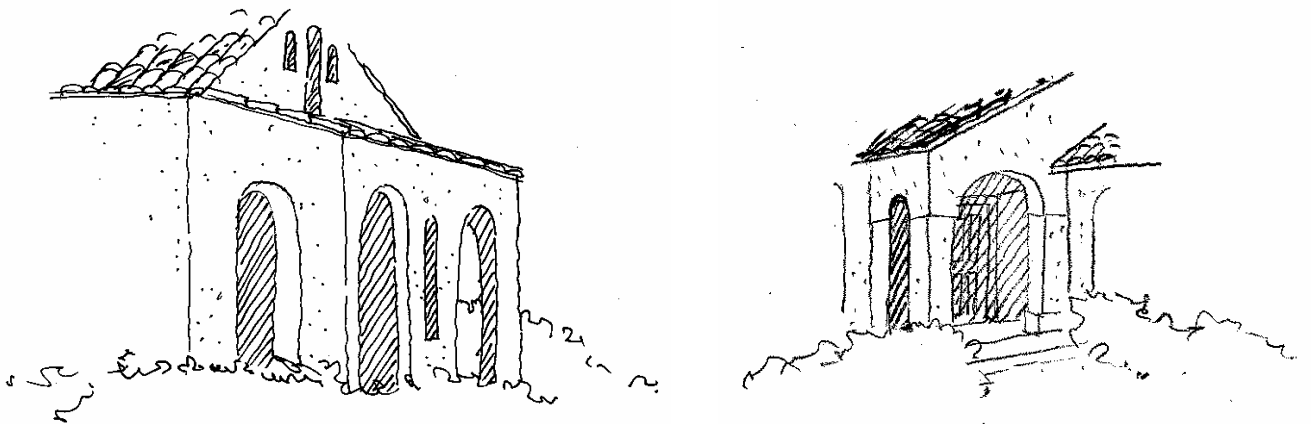
Windows shall be placed to complement and support the overall building character and scale. Groupings of windows should generally be centered in the building form on which they occur.



TYPICAL COLUMNS AND SUPPORTS (PRAIRIE STYLE)



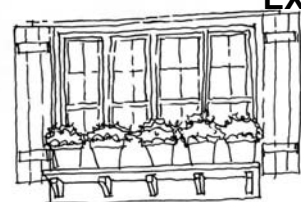
TYPICAL COLUMNS AND SUPPORTS (CRAFTSMAN STYLE)



TYPICAL COLUMNS AND SUPPORTS (SPANISH STYLE)

COLUMNS AND SUPPORTS AT ENTRIES

EXHIBIT 3-J

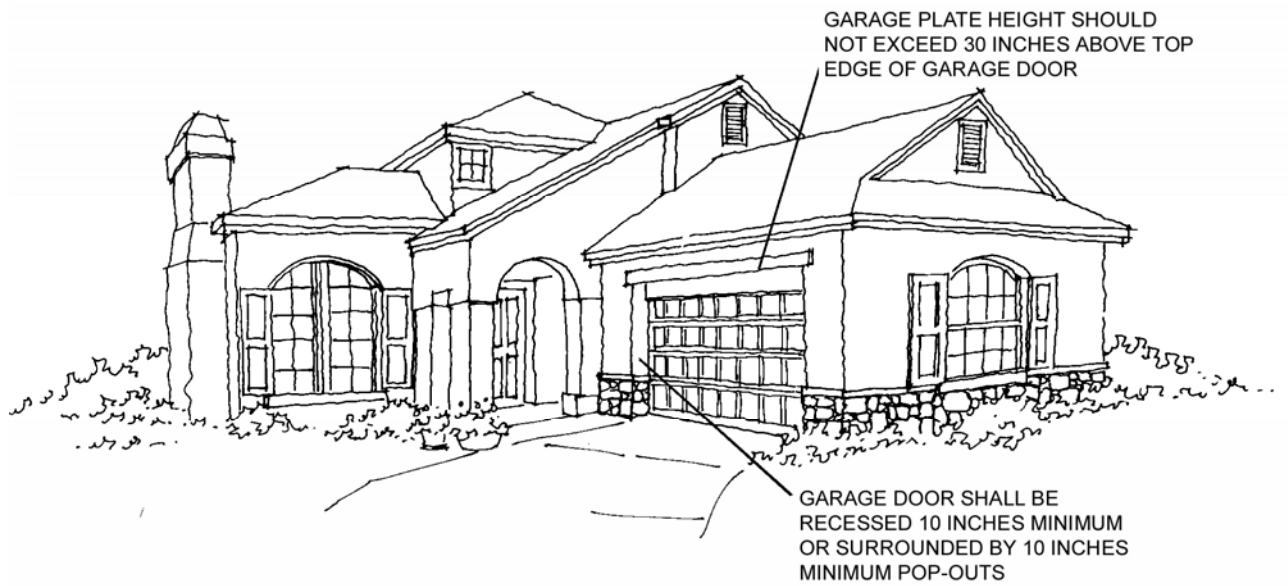




TYPICAL ENTRIES (EUROPEAN COTTAGE STYLE)

COLUMNS AND SUPPORTS AT ENTRIES

EXHIBIT 3-J (cont.)



DESIGN ELEMENTS AND DETAILS SHOULD BE INCORPORATED INTO GARAGE ELEVATIONS. GARAGE DOORS SHOULD BE RECESSED INTO THE BUILDINGS.

Windows with distinctive shapes, sizes, or details (such as divided glass, arches, and bays) shall complement the architectural style of the building. **Arched windows are allowed on Spanish Eclectic and European Cottage Style homes only.** All windows and other openings shall be trimmed with a 2-inch by 4-inch trim board minimum or recessed a minimum of 2 inches for all building elevations. Windows surrounded by shutters or masonry materials such as brick or stone do not require trim board along those edges. Window trim on interior side yards is waived for entry-level homes.

3.5.6 DECKS, BALCONIES, AND COVERED PATIOS

The design of elevated decks and balconies, including their materials and colors, shall be consistent with and complimentary to the main structure and not appear “tacked on”. Refer to **Exhibit 3-L**. All vertical elements (railings, supports, columns), fascias and overhead structures shall be painted or stained to match the main structure and not left to weather naturally. Metal railings may be painted the accent color due to the use of an upgraded material.

Roof materials for covered decks or patios may utilize either the same roof material as the main roof, large-dimension wood lattice (2”x2” minimum) or awnings. Patio enclosures shall match the materials and colors of the main structure. Refer to the City Zoning Code for deck, balcony and patio setback requirements.

3.5.7 Columns and Supports

Columns and supports should appear substantial and in proportion to the overall building mass. They shall be a minimum of 6 inches in section and preferably incorporate architectural elements matching the architectural style of the house or building. Columns and supports shall be a minimum of 10 inches in section for custom homes. Refer to **Exhibit 3-L**.

3.5.8 EXTERIOR STAIRS

Exterior stairs must be designed to minimize visual impact. Stairs and landings must be integral to the deck’s design and not project out into the yard. In no case will a stair be allowed to project perpendicular to a home. On multi-family structures, stairs must remain within the building envelope. Refer to **Exhibit 3-M**. Refer to **Section 3.5.6** for painting and staining requirements.

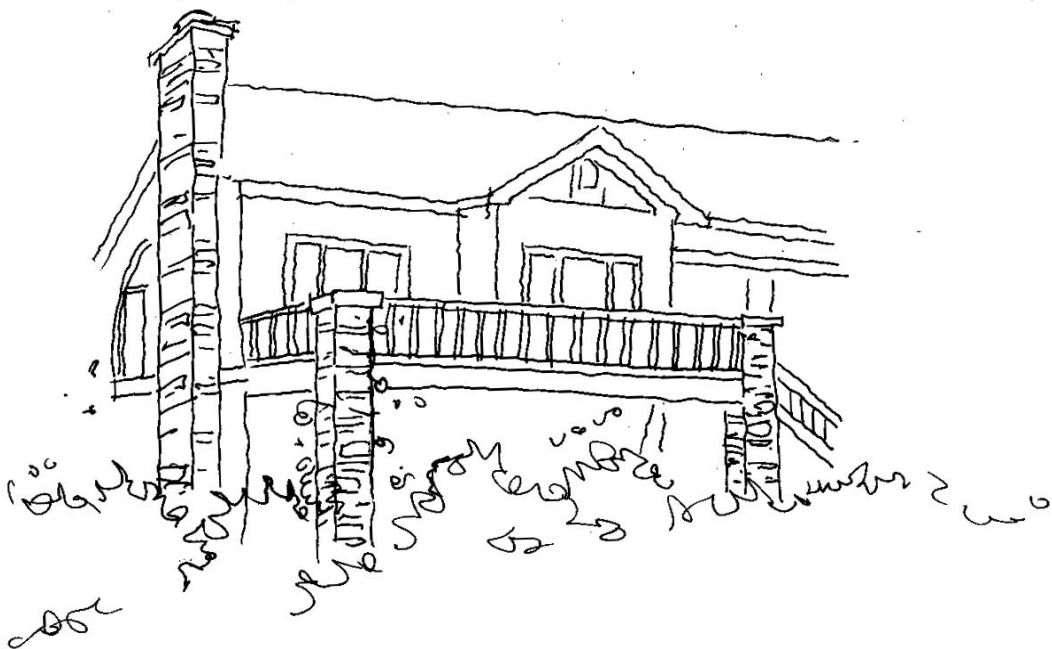
3.5.9 CHIMNEYS AND GAS FIREPLACES

Masonry materials are preferred for chimneys along exterior building walls. The visual impact of vents and spark arrestors should be minimized. Refer to **Exhibit 3-N**.

Where direct vent or other gas fireplaces are used, their forms must complement the wall on which they are located. Box-outs should terminate at the underside of the main roof covering of the wall plane. Exhaust ducts are not allowed on the front elevation or on side elevations within 8 feet of the front corner.



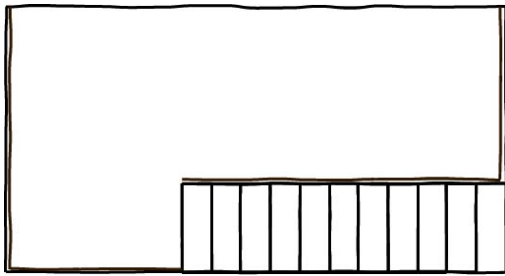
DECKS SHALL BE CONSISTENT AND COMPLEMENTARY TO THE MAIN STRUCTURE AND NOT APPEAR "TACKED ON"



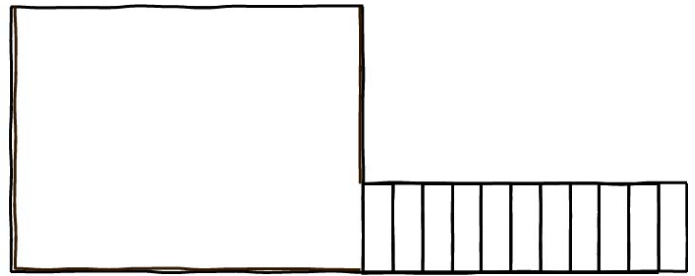
DECK SUPPORTS SHOULD APPEAR SUBSTANTIAL AND IN PROPORTION TO THE OVERALL BUILDING MASS

DECKS AND PATIO COVERS

EXHIBIT 3-L

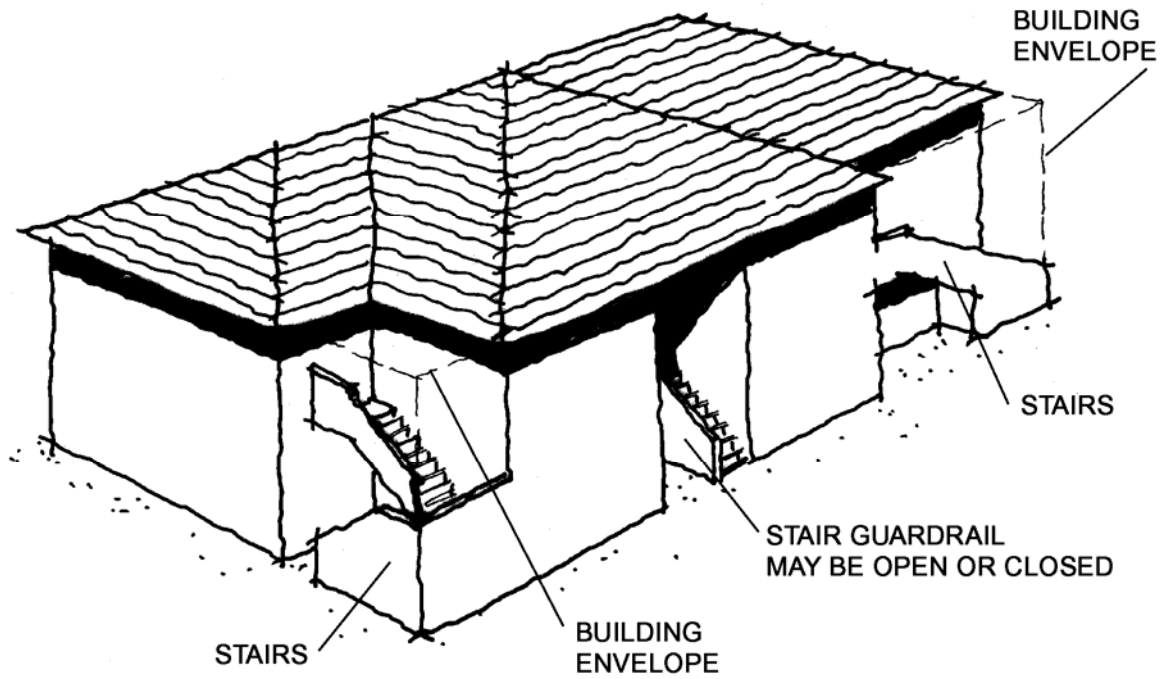


YES



NO

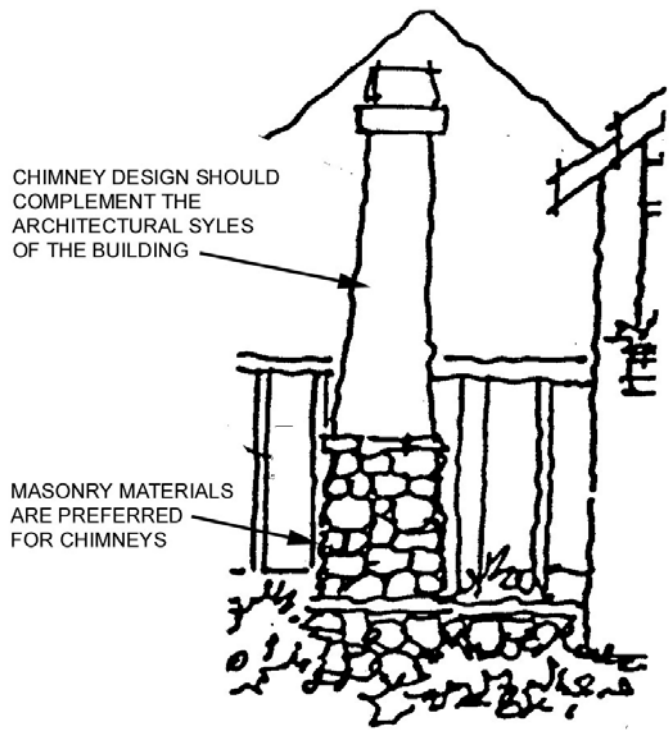
SINGLE FAMILY: STAIRS MUST BE INTEGRAL TO THE DECK'S DESIGN



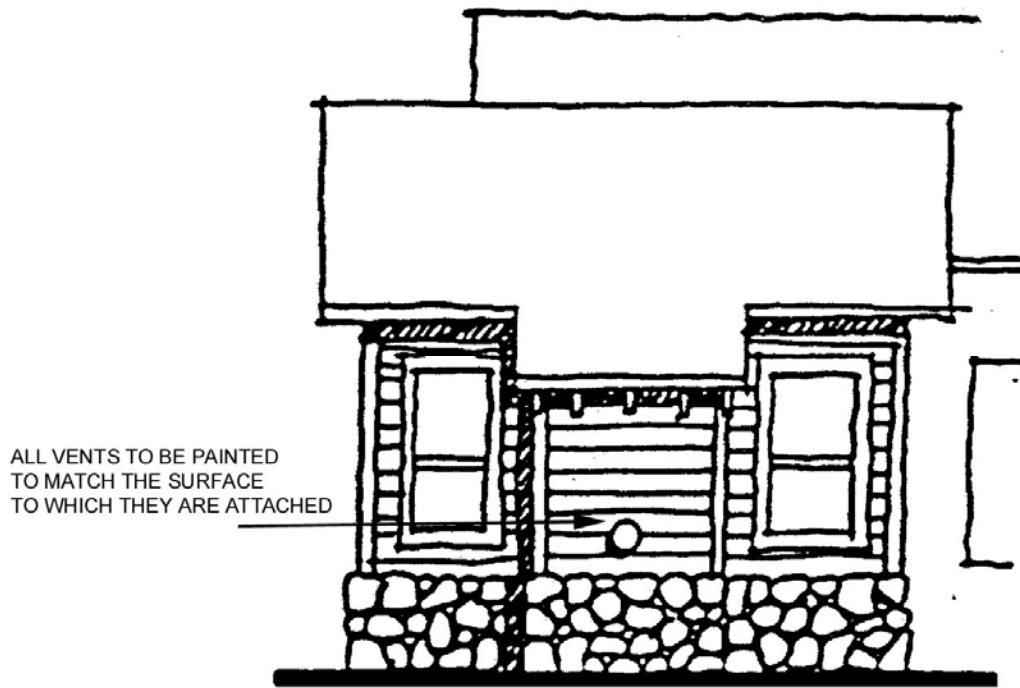
MULTI-FAMILY: STAIRS SHALL BE CONTAINED WITHIN THE BUILDING ENVELOPE

EXTERIOR STAIRS

EXHIBIT 3-M



CHIMNEYS ARE ENCOURAGED



RECOMMENDED GAS FIREPLACE BOXOUT TREATMENT

CHIMNEYS AND GAS FIREPLACES

EXHIBIT 3-N

3.5.10 SKYLIGHTS

Skylights, when provided, shall be integral to the roof design and parallel to roof pitches. Skylight glazing should be flat and clear, solar bronze, or gray. Reflective glazing is not permitted. Framing material color shall be copper, bronze, or colored to match the surrounding roof.

3.5.11 AWNINGS

Awnings, when provided, must be designed to integrate with and complement the architecture and not appear to be “tacked on”. Acceptable awning treatments include solid treated canvas fabric. The color must complement and not contrast with the home. Unacceptable awning treatments include thin wood lattice, metal, translucent plastic and untreated fabric and stripes.

3.6 EXTERIOR MATERIALS AND COLORS

3.6.1 BUILDING MATERIALS OVERVIEW

Specific exterior building materials have been selected for use in Pine Creek to enhance the theme and quality of the community. Appropriate use of materials will add value and reinforce the architectural style of the house.

3.6.2 ROOF MATERIALS - TYPE & APPLICATION

Proper use of roof materials and colors is an important element in distinguishing Prairie, Craftsman, Spanish Eclectic and European Cottage styles and should compliment the color scheme of the house. Approved roof materials are “dimensional” composition shingle, concrete tile as well as built-up roofing at parapet roofs. Further restrictions may apply to custom homes.

- a. **Dimensional Composition Shingle.** Entry-level and Move-up may use a 25-year grade. Multi-Family, Upgrade, and Executive shall use a 30-year minimum grade. 40-year minimum grade is required for Custom houses. Executive and Custom houses shall use a dimensional ridge. Shingle colors shall be a blended color rather than have a single color look. Tans, light grays and strong greens are not acceptable. T-Lock and 3 Tab shingles are not permitted in Pine Creek. Refer to **Exhibits 3-Q & 3-R** for a listing of color ranges and numbers appropriate to the architectural style.
- b. **Concrete Tile.** The color and profile of concrete tile has been selected to be appropriate to the architectural style as listed in **Exhibits 3-Q & 3-R**. Concrete tile colors shall have integrated flashing or be a blend of colors. The MonierLifetile and Westile colors listed in **Exhibit 3-R** are preferred; however manufacturer crossovers are acceptable as long as they closely relate to the tile colors listed.

- c. **Built-up Roofing** must have a medium to dark tone of gravel topping to protect neighboring lots from glare and overviews.
- d. **Standing Seam Metal.** Commercial-grade standing or vertical seam is appropriate for Prairie Styles only. Metal roofs must be reviewed by the ARB on a case-by-case basis.

3.6.3 WALL MATERIALS - TYPE & APPLICATION

Acceptable wall materials include manufactured siding and shingles, natural wood, stucco, brick and stone. Aluminum siding, vinyl siding, reflective materials, unfinished concrete and concrete block are not permitted. Refer to **Exhibit 3-Q** for specific material application for each architectural style.

Wall siding materials must be continued to within 6 inches of finished grade on all elevations, with steps not to exceed 2 feet for side elevations on walk-out conditions.

- a. **Manufactured Siding.** Smooth siding shall be used with the Prairie Style, Craftsman Style and European Cottage Style. Siding shall not exceed an 8-inch lap dimension on all elevations. Grooved plywood and drop siding are not acceptable. Manufactured shingles and textured siding shall be used only with the Craftsman Style and European Cottage Style.
- b. **Wood.** Rough sawn cedar siding shall only be used with the Craftsman Style and European Cottage Style. Board and batten applications are acceptable with the Craftsman Style only. Smooth Cedar siding may be used with the Prairie, Craftsman and European Cottage Styles. Siding shall not exceed an 8-inch lap dimension on all elevations.
- c. **Stucco.** Two-coat and three-coat applications are acceptable on all styles. Stucco finishes should not be too heavy and/or irregular.
- d. **Masonry.** Executive and Custom homes shall incorporate its front masonry materials on side and rear elevations facing a street, common area or golf course. On Multi-Family projects, masonry, when used, shall be applied on all four sides of the buildings.

Masonry elements must be integral to the architecture and not merely an applied feature. Masonry shall wrap columns and porches in their entirety. Large mortar joints or “weeping mortar” are not permitted. Stone shapes must be natural with no sharp cuts. Modeled brick face textures and colors are preferred. Raked or combed faces are not permitted. Use of stone and brick on the same building is allowed on European Cottage Style only. Refer to **Exhibits 3-Q** and **3-R** for appropriate masonry colors and types within each style.

- e. **Half-Timber Treatments.** The successful use of the half-timber look on the European Cottage Style requires the use of the appropriate materials combined with the appropriate application(s).

Appropriate materials:

Timber pattern – Wood, cement board

Infill pattern – Stucco, cement board

Appropriate Applications:

Dormer elements in roof area

Gable ends – one or more per elevation

Whole gabled mass elements – including first and/or second floor levels

Second floor – in combination with half-timbered gable

These various applications may be used singularly or in combination on stucco walls only. Half-timber treatments shall not cover any elevation entirely. They should be used to accent the main wall surface treatment. See **Exhibit 3-E** for examples of appropriate applications.

Multiple wall materials shall blend harmoniously with one another. Frequent material changes shall be avoided. Materials shall wrap architectural elements in their entirety.

Material application should be considered early in the design process so that logical termination points are identified. Material changes shall occur at changes in plane or on inside corners. **The return on outside corners shall be a minimum of 2 feet.** Refer to **Exhibit 3-O**.

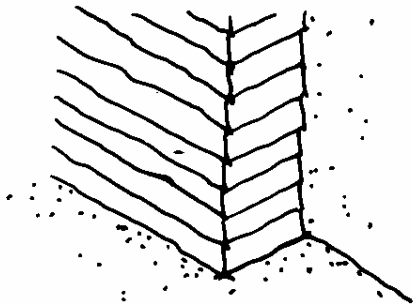
3.6.4 COLOR PROGRAM OVERVIEW

A distinctive color palette has been created to strongly identify with each of the architectural styles: Prairie, Craftsman, Spanish Eclectic and European Cottage. The intent of the program is to promote variety among the architectural styles while allowing compatibility within Pine Creek.

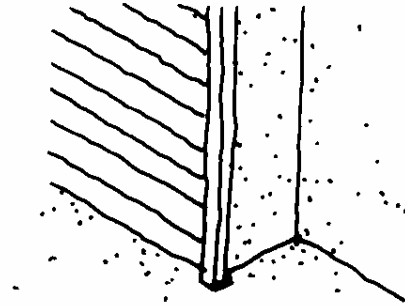
3.6.5 KIT FORMAT

A “Color Palette Design Kit” (Design Kit) containing a color fan deck for each architectural style has been created for use in Pine Creek. The Craftsman and European Cottage Styles share the same paint palette so their colors have been combined into one deck. Each style’s fan deck contains specific paint color groupings for:

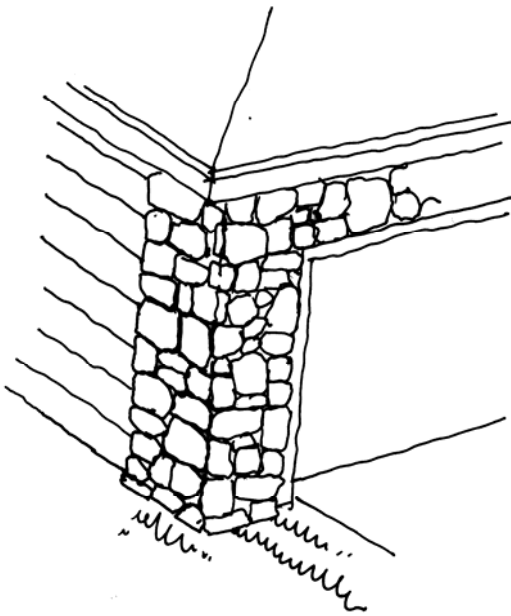
- a. Primary & Secondary Field
- b. Fascia & Trim
- c. Accent



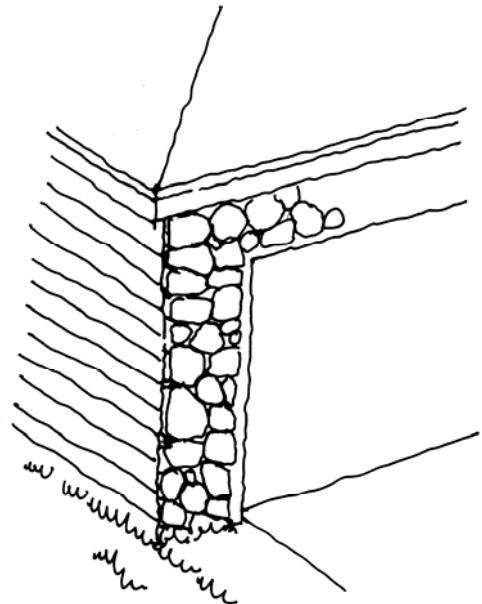
CHANGES IN MATERIALS SHALL OCCUR AT CHANGE IN PLANE



MATERIALS OR COLOR CHANGE AT OUTSIDE CORNER NOT PERMITTED



MASONRY MATERIALS SHALL WRAP OUTSIDE CORNERS A MINIMUM OF 2 FEET



ENDING MASONRY MATERIALS ON OUTSIDE CORNERS NOT PERMITTED

WALL MATERIAL CHANGES

EXHIBIT 3-0

The groupings of paint colors are presented in a spectrum format in order to offer a wide range of color options. Kwal-Howells paint was selected for use in the Design Kit because its “Millennium” line contains a strong selection of exterior architectural colors in the muted, shaded and neutral categories.

Builders may either work directly from the customized fan deck or utilize their own preferred manufacturer as long as they closely correspond to the colors in the design kit. Color boards may be prepared from chips cut from the appropriate fan deck or loose chips may be obtained from the manufacturer. **Exhibit 3-R**, “Architectural Color Palettes”, is a full listing of the approved roof, paint and masonry colors contained in each style’s palette.

Every appropriate or usable color may not be represented in each palette. The builder may augment the palette with other colors as long as they fit within the range of colors illustrated in each grouping. Approval of additional colors is at the discretion of the ARB.

Stucco colors from El Rey and La Habra have been selected to closely correspond with the paint colors listed for each architectural style.

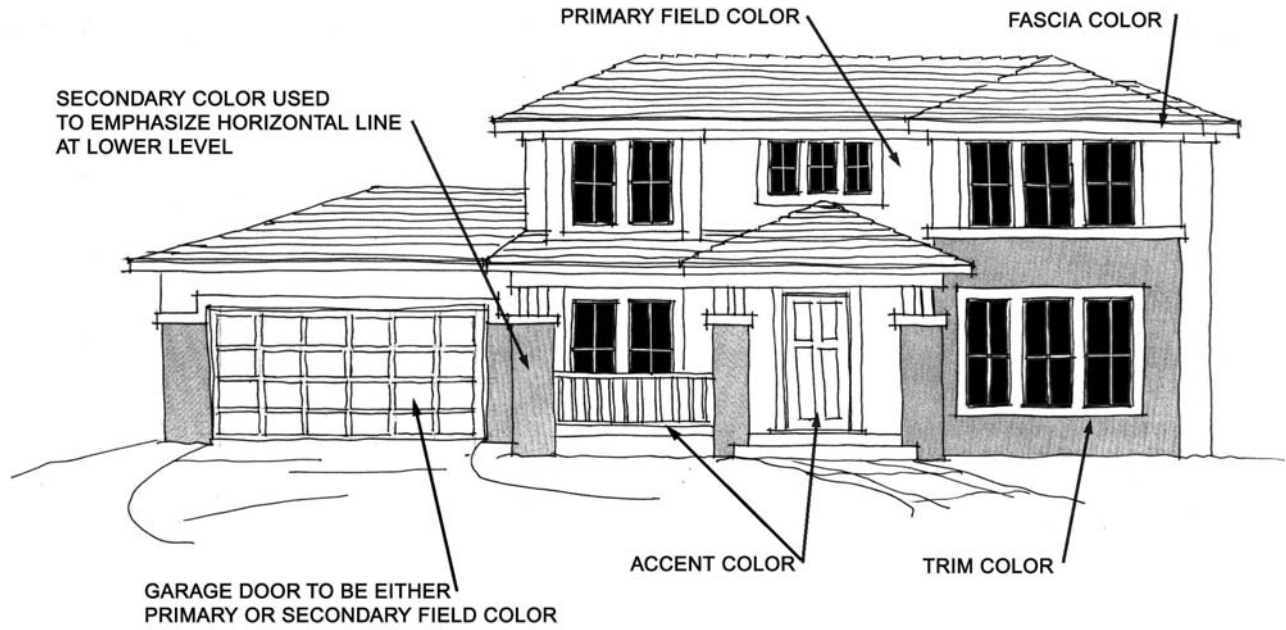
3.6.6 COLOR APPLICATION

Good judgment and skill is important when selecting the right colors for the right application. Colors should be continually assessed for appropriateness throughout the selection and application process. Field testing of individual colors is the builder’s responsibility.

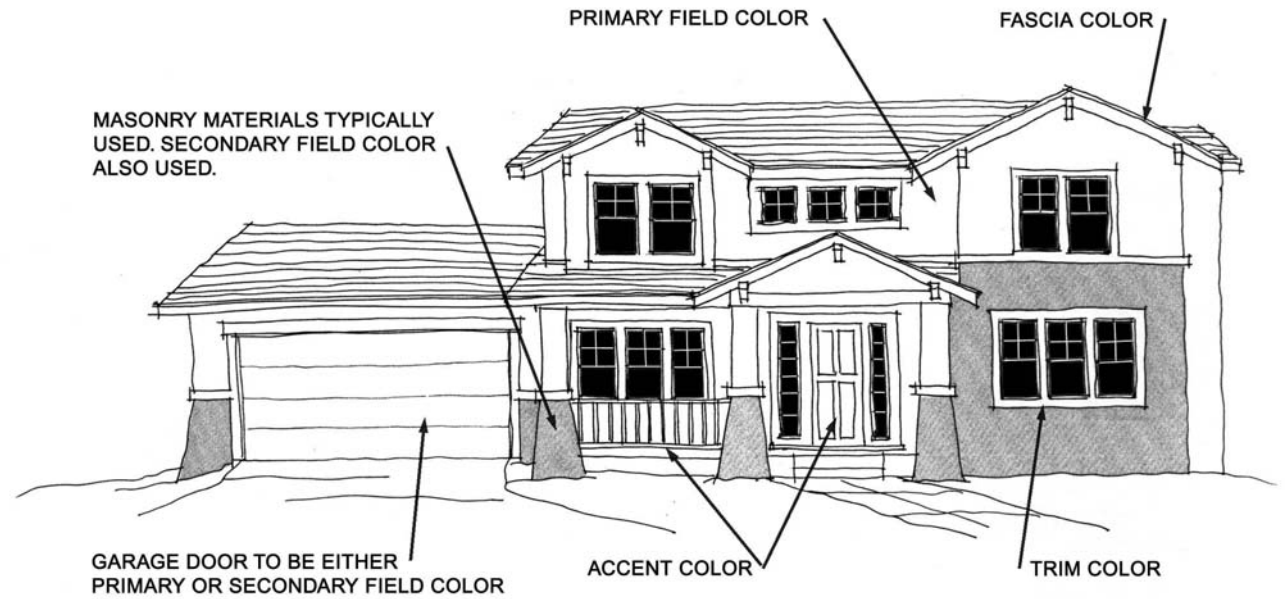
- a. “**Color Blocking**” is a technique used to illustrate color applications on a building, highlighting changes in field color. Color blocking technique should be incorporated into the preliminary design phase so that logical color termination points can be identified early on. Color changes should occur at inside corners only. Color package submittals shall include front, side and rear elevations indicating how the color blocking is to be applied. Refer to **Exhibit 3-P**.
- b. **Roof colors** are listed in **Exhibit 3-R** for each architectural palette that identify acceptable colors from both concrete tile and composition shingle manufacturers. In general, the roof color shall be darker and less reflective than the field color of the building.

The manufacturers listed are for color purposes only. Manufacturer crossovers are acceptable as long as they closely relate to the visual intent of the selected palette.

- c. **Primary and Secondary Field colors** have been grouped together to provide greater flexibility. A secondary field color should only be used in ways that are appropriate to the architectural style. Refer to **Exhibit 3-P**.



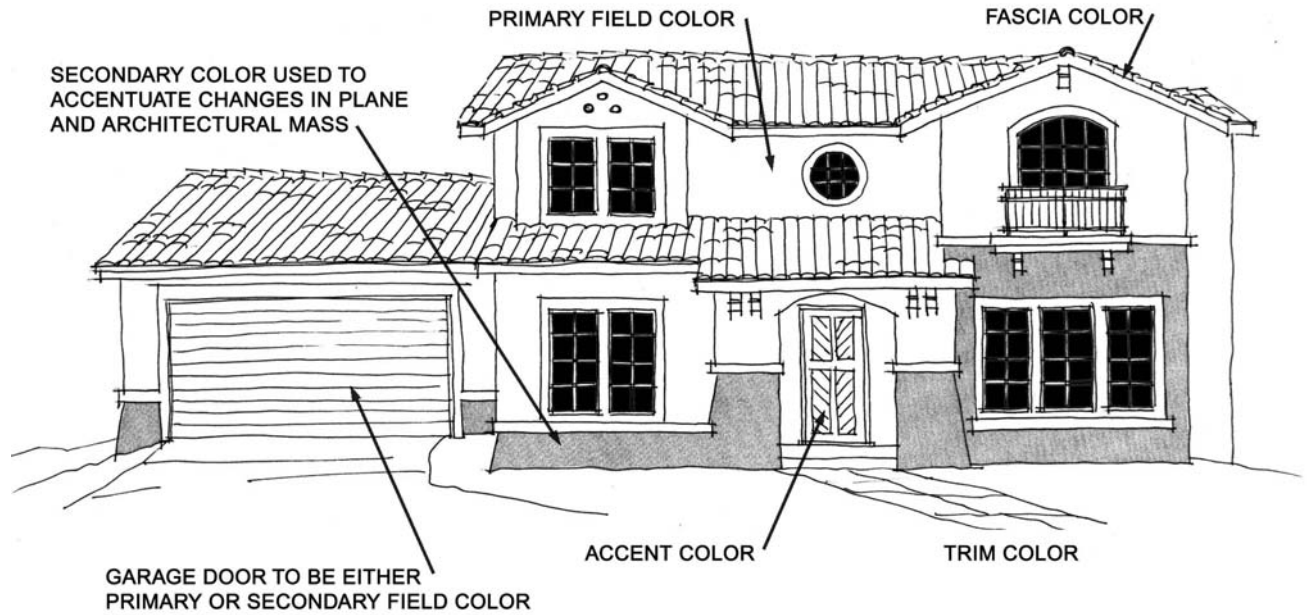
PRAIRIE STYLE



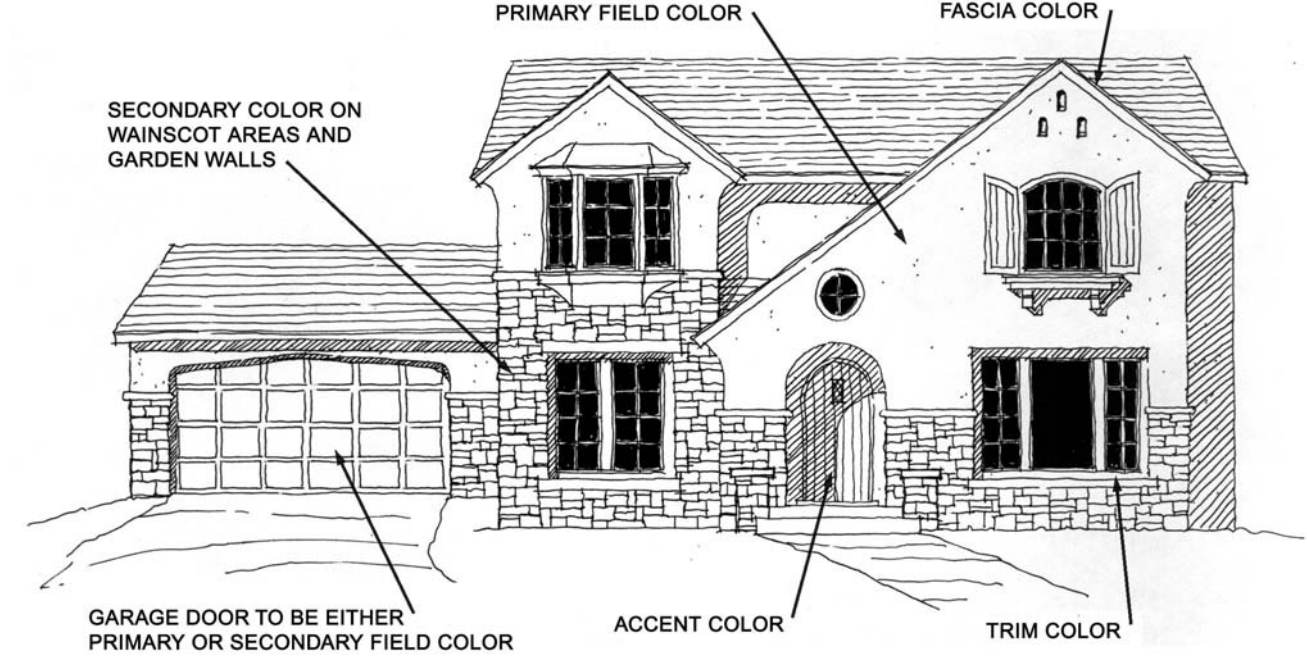
CRAFTSMAN STYLE

COLOR APPLICATION

EXHIBIT 3-P



SPANISH ECLECTIC STYLE



EUROPEAN COTTAGE STYLE

COLOR APPLICATION

EXHIBIT 3-P (cont.)

- d. **Fascia & Trim colors** have been grouped together to provide greater flexibility. For all styles, there shall be a clear contrast between the field color(s) and the fascia/trim color(s) i.e., light field colors with darker trim/fascia and dark field colors with lighter trim/fascia. Refer to **Exhibit 3-Q** for information regarding appropriate color ranges. **Corner boards shall be painted to match the surrounding field color.**
- e. **Accent colors** are the deepest and richest colors in each palette. These colors should be used to accentuate specific detail elements on the elevations such as: front doors, shutters, louvers, railings, corbels, etc. Wood stained front doors are acceptable for all styles.
- f. **Garage Door** color shall be selected from the Primary and Secondary field color palette.
- g. **Gutters and Downspouts** shall be painted the same color as the element to which they are attached. Refer to **Section 3.9.4** for additional requirements.

3.6.7 STYLE AND COLOR SELECTION

A “Color, Style and Material Matrix” has been developed that identifies the various building color elements, their appropriate color applications and appropriate color ranges for each style. The matrix compliments the “Color Palette Design Kit” and is designed to assist builders with creating color schemes that further enhance the historical expression of the elevations. Sales staff shall be fully apprised of these requirements so that the appropriate color scheme is offered with the appropriate architectural style. Refer to **Exhibit 3-Q**.

3.6.8 PROJECT COLOR REQUIREMENTS

- a. **Detached projects** shall have individual color schemes identifying all required building colors and materials. Detached projects shall offer a minimum of 3 roof colors per project. To assure color diversity and variety within a project, a minimum of 9 schemes shall be available to the buyers for their selection. All primary field colors within a project shall have a discernable difference in color and value.

If more than one architectural style is being offered, each style shall have a minimum of three schemes available for the buyers. All primary field colors within a style shall have a discernable difference in color and value.

- b. **Attached projects** shall have a minimum of one roof color and a minimum of three color schemes per project. The schemes may be plotted randomly or in logical groupings.

3.6.9 COLOR PLOTTING

No house adjacent to or directly across from another may share the same or substantially similar color scheme. This requirement applies to all detached projects in Pine Creek. Sales staff should be fully apprised of these parameters prior to the opening of pre-sales to avoid any misunderstandings by homebuyers.

3.6.10 MATERIALS SAMPLE BOARD SUBMITTAL

Color and materials submittals to the ARB must contain the information listed below. Submittals that are deemed incomplete will be returned unreviewed. Refer to **Section 6** and **Exhibit 6-A** for further information regarding submittal requirements.

- a. **Materials Sample Board** (8½"x11" maximum size) with all color and materials fully shown. Full masonry samples (hand panels) may also be submitted in addition to any pictures attached to the sample board.
- b. **Exterior elevations** of all four sides depicting color application design, i.e. "color blocking".

	PRAIRIE STYLE	CRAFTSMAN STYLE	SPANISH ECLECTIC STYLE	EUROPEAN COTTAGE STYLE
ROOF Concrete tile profiles	Slate, Shake, Country Slate, Country Shake, Split Shake	Shake, Country Shake, Split Shake	Full S Profile, Low Profile (Villa)	Slate, Country Slate, Country Split Slate
PRIMARY FIELD	Refer to Prairie color palette in Exhibit 3-R	Refer to Craftsman color palette in Exhibit 3-R	Refer to Spanish color palette in Exhibit 3-R	Refer to European Cottage palette in Exhibit 3-R
SECONDARY FIELD Appropriate use and applications	Used to emphasize horizontal lines Used at base or lower level to anchor structure Usually achieved through change in material	Color should not overly contrast with primary field Used at base or at first floor to add interest to structure Usually achieved through change in material	Deeper or contrasting secondary color used on wainscot areas or below belly band Usually achieved through change in color	Used to highlight building masses or at lower level to anchor structure Usually achieved through change in material
SIDING & SHINGLES Appropriate types	Siding: Smooth only	Siding: Smooth, textured or rough sawn Shingles: textured or rough sawn Board & Batten: Smooth, textured or rough sawn	Not appropriate to style	Siding: Smooth, textured or rough sawn Shingles: textured or rough sawn
FASCIA & TRIM Appropriate application	Should contrast strongly with field color(s) in value: Dark field/light trim Light field/dark trim	Should contrast with field color(s) in value and color: Dark field/light trim Light field/dark trim Warm field/cool or neutral trim Cool field/warm or neutral trim	Should contrast with field color(s) in value: Dark field/light trim Light field/dark trim Trim color may be the same as the field color	Should contrast with field color(s) in value and color: Dark field/light trim Light field/dark trim Warm field/cool or neutral trim Cool field/warm or neutral trim

STYLE, COLOR & MATERIAL MATRIX

EXHIBIT 3-Q

	PRAIRIE STYLE	CRAFTSMAN STYLE	SPANISH ECLECTIC STYLE	EUROPEAN COTTAGE STYLE
ACCENT Shutters, front doors, louvers, railings, corbels, etc.	Should be same color family as the fascia/trim color but deeper and richer	Should contrast with other building colors to strongly emphasize accented elements	Should be dark to medium colors often grayed down for a weathered, effect	Should be brighter colors when used on smaller structures for a quainter look or deep colors when used on larger structures for a stately look
MASONRY Typical uses and applications	Use to emphasize horizontal lines with wainscots that wrap base Use at porch elements Use at chimneys for vertical emphasis and to balance with horizontal lines	Use at porch elements, wainscots and chimney stacks	Use at wainscots and to highlight focal front elevation masses	Use at entry elements and to highlight focal front elevation masses
BRICK TYPES	Smooth but modeled brick with clean edges	Modeled brick in color & texture with clean or tumbled edges	Not appropriate to style	Modeled brick in color & texture with tumbled edges
STONE TYPES Eldorado Stone Cultured Stone Alternative stone types may be approved on a case-by-case basis.	Rustic Ledge Mountain Ledge Stacked Stone Weather Edge Southern Ledge Weather Edge Ldg. Carolina Ledgest. Pro-fit Ledgest. Drystack Ledge	Rustic Ledge Mountain Ledge River Rock Creek Cobble Southern ledge Weather Edge Ldg. Stream Stone River Rock Split Face Drystack Ledge	Rustic Ledge Mountain Ledge Southern Ledge Drystack Ledge	Country Rubble Limestone Cobblestone Sandstone Cobblefield Dressed Fieldstone Water Wash

STYLE, COLOR & MATERIAL MATRIX

EXHIBIT 3-Q

PRAIRIE STYLE COLOR PALETTE (1 of 2)

Composition Roof Colors:

Elk Antique Slate, Barkwood, Hickory, Weatheredwood
Owens Corning Driftwood, Estate Gray, Onyx Black, Redstone, Teak
Tamko Autumn Brown, Mountain Slate, Natural Timber, Oxford Grey, Rustic Redwood, Rustic Slate, Thunderstorm Grey, Weathered Wood

Concrete Tile Roof Colors:

MonierLifetile (C/T= Color-Thru)

Slate - Standard C/T

1LSCS6169R, Casa Grande Blend
1LSCS0024R, Desert Sage
1LSCS4598R, Forest Green

Slate - Premium C/T

1LSCS3233R, Brown Blend
1LSCS6464, California Mission Blend
1LSCS1132R, Charcoal Brown Blend

Slate - Monier 2000 Standard C/T

1STCS7973, Maroon Belle
1STCS3934, Saddle
1STCS4930, Silhouette
1STCS5937, Silver Rock
1STCS5932, Silver Smoke

Slate - Monier 2000 Premium C/T

1STCS3957, Cobblestone

Slate - Monier 2000 Custom C/T

1STCS3963, Camouflage

Shake - Standard C/T

1SRCB5746, Oakwood Blend
1SRCB5225, Shadow Grey
1SRCB0556R, Shadow Tan

Shake - Premium C/T

1SRCB3233R, Brown Blend
1SRCB1430R, Charcoal Blend
1SRCB1132R, Charcoal Brown Blend

Shake - Monier 2000 Standard C/T

1SKCB5932, Silver Smoke
1SKCB3958, Smokey

Shake - Monier 2000 Premium C/T

1SKCB3957, Cobblestone
1SKCB4950, Moonstone

Country Slate - Premium C/T

1CSCS3613R, Chestnut Brown
1CSCS7196R, Cordovan Brown
1CSCS0155R, Taupe
1CSCS5763R, Tudor Grey

Country Shake - Premium C/T

1CGCR3233R, Brown Blend
1CGCR1430R, Charcoal Blend
1CGCR1132R, Charcoal Brown Blend

Split Shake - Premium C/T

1SGCB1132, Charcoal Brown Blend

Traditions - Standard C/T

1TR CD4081, Aged Copper
1TR CD3079, Manorhouse
1TR CD3080, Riverpebble
1TR CD7078, Wineberry
1TR CD3082, Winter Trail

Westile

Slate - Standard

Arapahoe
Barcelona
Belgard
Buckhorn
Burnt Chestnut
Burnt Quarried
Fawn
Lexington

Slate - Blends

Beaver Creek Blend
Castlewood Blend
Colorado Blend

Shake - Standard

Black Walnut
Burnt Cedar
Driftwood
Weathered Wood
Western

ARCHITECTURAL COLOR PALETTES

EXHIBIT 3-R

PRAIRIE STYLE COLOR PALETTE (2 of 2)

Primary & Secondary Field Colors: (Kwal-Howells)

8173M 8174M 8183M 8184M 8221W 8222W 8223M 8224M 8231W 8232W 8233W 8234M 8242W
8243M 8244D 8253M 8254M 8255D 8653M 8654M 8663W 8664M 8671W 8672W 8673M 8681W
8682W 8683W 8684M 8691W 8692W 8693M 8694M 8701W 8702W 8703M 8704D 8711W 8712W
8713W 8714M 8721W 8722W 8723M 8724M 8731W 8732W 8733M 8734M 8741W 8742W 8743M
8744D 8751W 8752W 8753M 8754D 8760W 8761W 8762W 8763M 8764M 8772W 8773M

Stucco Field Colors:

El Rey 30 Soapstone, 103 Sand, 106 Buckskin, 110 Ash, 111 Driftwood, 113 Dove Gray,
115 Cottonwood, 117 Fawn, 119 Palomino, 121 Sandalwood, 127 Hacienda, 128
Cream

La Habra x-16 Silver Grey, x-17 Misty, x-23 Aspen, x-24 Santa Fe, x-25 Saddleback, x-28
Mirage, x-34 San Simeon, x-40 Dove Grey, x- 56 French Grey, x-72 Adobe, x-81
Oatmeal, x-82 Hacienda, x-86 Sandstone, x-97 Pacific Sand, x-575 Canyon, x-592
Tucson, x-820 Silverado, x-830 Clay

Trim & Fascia Colors: (Kwal-Howells)

8634M 8635D 8644M 8645D 8654M 8655D 8664M 8665D 8674M 8675D 8694M 8695D 8704D
8705D 8714M 8715D 8724M 8725A 8726N 8734M 8735D 8736N 8744D 8745A 8754D 8755A
8764M 8765D 8774M 8775D 8784D 8785A 8794M 8795D 8804M 8805D 8814M 8815D 8824M
8825D

Off-Whites:

8200W 8210W 8220W 8221W 8660W 8661W 8670W 8671W 8680W 8681W 8690W 8691W 8700W
8701W 8710W 8730W 8731W 8760W

Accent Colors: (Kwal-Howells)

8286N 8306N 8536N 8546N 8556A 8586A 8596N 8636N 8646N 8656N 8696N 8706N 8746N
8756N 8776N 8806N 8816N 8826N

Stone Colors:

Cultured Stone Carolina LedgeStone - All colors
Cobblefield - All colors except Austin & Texas Cream
Drystack LedgeStone - All colors
Pro-Fit LedgeStone - All colors except Southwest
Southern LedgeStone - All colors
Weather Edge LedgeStone - All colors

Eldorado Cobblestone - All colors except Coal Canyon
Limestone – All colors except Austin Cream & Rincon
Mountain Ledge - All colors
Rustic Ledge - All colors except Oakcrest
Stacked Stone - All colors
Weather Edge - All colors

Brick Colors:

Robinson Brick Designer Classics – Brimstone, Cajun, Charleston, Chestnut, Danbury,
Delaware, Georgetown, Heritage 441, Mission Grey, Tularosa, Waterlodge

Note: Color palettes subject to change without notice due to manufacturer availability.

ARCHITECTURAL COLOR PALETTES

EXHIBIT 3-R

CRAFTSMAN STYLE COLOR PALETTE (1 of 2)

Composition Roof Colors:

Elk Barkwood, Hickory, Weatheredwood
Owens Corning Brownwood, Driftwood, Estate Gray, Teak
Tamko Autumn Brown, Mountain Slate, Natural Timber, Oxford Grey, Rustic Redwood, Rustic Slate, Thunderstorm Grey, Weathered Wood

Concrete Tile Roof Colors:

MonierLifetile (C/T=Color-Thru)

Shake - Standard C/T

1SRCB5746, Oakwood Blend
1SRCB3016R, Shadow Brown
1SRCB5225R, Shadow Grey
1SRCB0556R, Shadow Tan

Shake - Premium C/T

1SRCB3233R, Brown Blend
1SRCB1430R, Charcoal Blend
1SRCB1132R, Charcoal Brown Blend

Shake - Monier 2000 Standard C/T

1SKCB5932, Silver Rock
1SKCB3958, Smokey

Shake - Monier 2000 Premium C/T

1SKCB3957, Cobblestone
1SKCB4950, Moonstone

Country Shake - Premium C/T

1CGCR3233R, Brown Blend
1CGCR1430R, Charcoal Blend
1CGCR1132R, Charcoal Brown Blend

Split Shake - Premium C/T

1SGCB1132, Charcoal Brown Blend

Traditions - Standard C/T

1TR CD3083, Hearthside
1TR CD3080, Riverpebble
1TR CD7078, Wineberry

Westile

Shake - Standard

Black Walnut
Burnt Cedar
Driftwood
Weathered Wood
Western

Primary & Secondary Field Colors: (Kwal-Howells)

7751W 7752W 7753M 8231W 8232W 8233M 8234M 8241W 8242W 8243M 8244D 8251W 8252W
8253M 8254M 8533M 8534M 8583W 8584M 8623M 8624M 8633W 8634M 8643M 8644M 8653M
8654M 8662W 8663W 8664M 8671W 8672W 8673M 8674M 8682W 8683W 8684M 8691W 8692W
8693M 8694M 8702W 8703M 8704D 8712W 8713W 8714M 8720W 8721W 8722W 8723M 8724M
8731W 8732W 8733M 8740W 8741W 8742W 8743M 8750W 8751W 8752W 8753M 8762W 8763M
8764M 8772W 8773M 8774M 8783M 8784D 8792W 8793M 8794M 8802W 8803M 8804M 8812W
8813W

Stucco Field Colors:

El Rey 30 Soapstone, 103 Sand, 110 Ash, 111 Driftwood, 113 Dove Gray, 115 Cottonwood, 117 Fawn, 119 Palomino, 121 Sandalwood, 122 Straw, 127 Hacienda, 128 Cream, 129 Ivory

La Habra x-16 Silver Grey, x-17 Misty, x-23 Aspen, x-24 Santa Fe, x-25 Saddleback, x-28 Mirage, x-34 San Simeon, x-55 French Vanilla, x-56 French Grey, x-72 Adobe, x-79 Villa, x-81 Oatmeal, x-82 Hacienda, x-86 Sandstone, x-97 Pacific Sand, x-504 Blue Grey, x-575 Canyon, x-580 Sierra Tan, x-820 Silverado, x-830 Clay

CRAFTSMAN STYLE COLOR PALETTE (2 of 2)

Trim & Fascia Colors: (Kwal-Howells)

8284D 8285A 8303W 8304M 8305D 8534M 8535D 8544M 8545D 8554M 8555D 8584M 8585D
8624M 8625D 8634M 8635D 8644M 8645D 8654M 8655D 8664M 8665D 8674M 8675D 8684M
8685D 8694M 8695D 8704D 8705D 8714M 8715D 8724M 8725A 8734M 8735D 8736N 8743M
8744D 8745A 8753M 8754D 8755A 8764M 8765D 8774M 8775D 8783M 8784D 8785A 8793M
8794M 8795D 8803M 8804M 8805D 8813W 8814M 8815D 8823W 8824M 8825D

Off-Whites:

8220W 8221W 8640W 8650W 8680W 8681W 8690W 8691W 8710W 8711W 8720W 8721W 8730W
8731W 8740W 8741W 8750W 8751W 8820W

Accent Colors: (Kwal-Howells)

8326N 8336N 8376N 8455D 8456A 8466N 8475D 8476N 8495D 8496A 8505D 8506A 8515D
8516A 8525D 8526A 8555D 8556A 8565D 8566N 8575D 8576N 8585D 8586A 8595D 8596N
8605D 8606N 8625D 8626N 8876N 8886N 8896N

Stone Colors:

Cultured Stone Drystack LedgeStone – All colors except Caramel
River Rock - All colors except Whitewater
Southern LedgeStone - All colors
Split Face - All colors except Granite
Stream Stone - All colors except Spring
Weather Edge LedgeStone - All colors
Eldorado Beach Rock - All colors
Mountain Ledge - All colors
River Rock / Creek Cobble - All colors
Rustic Ledge - All colors except Oakcrest

Brick Colors:

Robinson Brick Cajun, Cambridge, Confetti, Georgetown, Heritage 441, Heritage Antique, Old
Charleston, Old Chestnut, Old Delaware, Old Georgetown, Old Stoneybrook

Note: Color palettes subject to change without notice due to manufacturer availability.

SPANISH ECLECTIC STYLE COLOR PALETTE (1 of 2)

Composition Roof Colors:

Not Permitted in this Style

Concrete Tile Roof Colors:

MonierLifetile (C/T=Color-Thru)

Espana - Standard C/T

1ESCS6169R, Casa Grande Blend
1ESCS0024R, Desert Sage
1ESCS7165R, Gold Dust
1ESCS7164R, Marbled Canyon Red

Espana - Premium C/T

1ESCS6464, California Mission Blend

Villa - Standard C/T

1VACS6169, Casa Grande Blend
1VACS0024, Desert Sage
1VACS7165, Gold Dust
1VACS7164, Marbled Canyon Red
1VACS6129, Marbled Terra Cotta

Villa - Monier 2000 Standard C/T

1VACS7973, Maroon Belle
1VACS5937, Silver Rock

Villa - Monier 2000 Premium C/T

1VACS3947, Heather

Westile

Double Roman - Standard

Buckskin
Burnt Sienna
Burnt Terra Cotta
Caprock
Chimney Rock
Plaza Red
Rosewood

Primary & Secondary Field Colors: (Kwal-Howells)

8231W 8232W 8233M 8234M 8241W 8242W 8243M 8244D 8250W 8251W 8252W 8253M 8254M
8260W 8261W 8262W 8263M 8264D 8281W 8282W 8283W 8284D 8720W 8721W 8722W 8723M
8724M 8731W 8732W 8733M 8734M 8740W 8741W 8742W 8743M

Stucco Field Colors:

El Rey 30 Soapstone, 103 Sand, 106 Buckskin, 110 Ash, 111 Driftwood 117, Fawn,
119 Palomino, 121 Sandalwood, 127 Hacienda, 128 Cream, 129 Ivory
La Habra x-17 Misty, x-23 Aspen, x-24 Santa Fe, x-25 Saddleback, x-28 Mirage,
x-34 San Simeon, x-48 Meadowbrook, x-72 Adobe, x-79 Villa, x-81 Oatmeal,
x-82 Hacienda, x-86 Sandstone, x-97 Pacific Sand, x-501 Cortez, x-575 Canyon,
x-580 Sierra Tan, x-592 Tucson

Trim & Fascia Colors: (Kwal-Howells)

8254M 8255D 8304M 8305D 8634M 8635D 8644M 8645D 8653M 8654M 8655D 8674M 8675D
8684M 8685D 8694M 8695D 8704D 8705D 8714M 8715D 8724M 8725A 8734M 8735D 8744D
8745A 8754D 8755A 8763M 8764M 8765D

Off-Whites:

8220W 8221W 8230W 8231W 8240W 8241W 8680W 8681W 8690W 8691W 8701W 8710W 8711W
8720W 8721W 8730W 8760W

Accent Colors: (Kwal-Howells)

8056N 8066A 8296N 8326N 8336N 8446N 8456A 8515D 8516A 8535D 8545D 8555D 8565D
8566N 8575D 8576N 8584M 8585D 8624M 8625D

SPANISH ECLECTIC STYLE COLOR PALETTE (2 of 2)

Stone Colors:

Cultured Stone Carolina LedgeStone - Vintage Sand
Drystack LedgeStone - Caramel, Cedar, Chardonnay
Southern LedgeStone - Bucks County, Chardonnay, Rustic
Weather Edge LedgeStone - Fox Valley, Wisconsin

Eldorado Mountain Ledge - All colors except Buckskin, Oakridge, Warm Springs
Rustic Ledge – All colors except Cascade, Cambridge, Sequoia

Brick Colors:

Not Permitted in this Style

Note: Color palettes subject to change without notice due to manufacturer availability.

EUROPEAN COTTAGE STYLE COLOR PALETTE (1 of 2)

Composition Roof Colors:

Elk Antique Slate, Birchwood, Barkwood, Forest Green, Sablewood, Wedgewood
Owens Corning Driftwood, Estate Gray, Onyx Black
Tamko Black Walnut, Mountain Slate, Natural Timber, Oxford Grey, Rustic Black, Rustic Slate, Thunderstorm Grey

Concrete Tile Roof Colors:

MonierLifetile (C/T=Color-Thru)

Slate - Standard C/T

1LSCS5046, Ebony Slate Flashed
1LSCS4598, Forest Green
1LSCS5037, Natural Marble

Slate - Premium C/T

1LSCS3233R, Brown Blend
1LSCS1132R, Charcoal Brown Blend

Slate - Monier 2000 Standard C/T

1STCS4930, Silhouette
1STCS5937, Silver Rock
1STCS5932, Silver Smoke

Slate - Monier 2000 Premium C/T

1STCS3957, Cobblestone

Slate - Monier 2000 Custom C/T

1STCS3963, Camouflage

Country Slate - Premium C/T

1CSCS3613R, Chestnut Brown
1CSCS7196R, Cordovan Brown
1CSCS0155R, Taupe
1CSCS5763R, Tudor Grey

Country Split Slate - Premium C/T

1CKCS4087, Lincoln Green

Contrasting Hip & Ridge Caps

1CTCS6129R, Marbled Terra Cotta
1CTCS6169R, Casa Grande Blend
1CTCS0024 Desert Sage
1CTCS7165R, Gold Dust

Traditions - Standard C/T

1TR CD4081, Aged Copper
1TR CD4083, Autumn Husk
1TR CD3083, Hearthside
1TR CD4080, Mountaintop
1TR CD4079, Northshore
1TR CD7079, Township
1TR CD4082, Vineyard

Westile

Slate - Standard

Barcelona
Belgard
Burnt Charcoal
Burnt Chestnut
Burnt Quarried
Fawn
Lexington
Ponderosa

Slate - Premium

Antique Verde
Burnt Moss Rock
Conifer
Renaissance
Rocky Mountain Green

Slate - Blends

Beaver Creek Blend
Castlewood Blend
Colorado Blend
Weathered Copper Blend

ARCHITECTURAL COLOR PALETTES

EXHIBIT 3-R

EUROPEAN COTTAGE STYLE COLOR PALETTE (2 of 2)

Primary & Secondary Field Colors: (Kwal-Howells)

7751W 7752W 7753M 8231W 8232W 8233M 8234M 8241W 8242W 8243M 8244D 8251W 8252W
8253M 8254M 8533M 8534M 8583W 8584M 8623M 8624M 8633W 8634M 8643M 8644M 8653M
8654M 8662W 8663W 8664M 8671W 8672W 8673M 8674M 8682W 8683W 8684M 8691W 8692W
8693M 8694M 8702W 8703M 8704D 8712W 8713W 8714M 8720W 8721W 8722W 8723M 8724M
8731W 8732W 8733M 8740W 8741W 8742W 8743M 8750W 8751W 8752W 8753M 8762W 8763M
8764M 8772W 8773M 8774M 8783M 8784D 8792W 8793M 8794M 8802W 8803M 8804M 8812W
8813W

Stucco Field Colors:

El Rey 30 Soapstone, 103 Sand, 110 Ash, 111 Driftwood, 113 Dove Gray, 117 Fawn,
119 Palomino, 121 Sandalwood, 122 Straw, 127 Hacienda, 128 Cream, 129
Ivory
La Habra x-16 Silver Grey, x-17 Misty, x-23 Aspen, x-24 Santa Fe, x-25 Saddleback,
x-28 Mirage, x-34 San Simeon, x-55 French Vanilla, x- 56 French Grey, x-72
Adobe,
x-79 Villa, x-81 Oatmeal, x-82 Hacienda, x-86 Sandstone, x-97 Pacific Sand,
x-504 Blue Grey, x-575 Canyon, x-580 Sierra Tan, x-820 Silverado, x-830 Clay

Trim & Fascia Colors: (Kwal-Howells)

8284D 8285A 8303W 8304M 8305D 8534M 8535D 8544M 8545D 8554M 8555D 8584M 8585D
8624M 8625D 8634M 8635D 8644M 8645D 8654M 8655D 8664M 8665D 8674M 8675D 8684M
8685D 8694M 8695D 8704D 8705D 8714M 8715D 8724M 8725A 8734M 8735D 8736N 8743M
8744D 8745A 8753M 8754D 8755A 8764M 8765D 8774M 8775D 8783M 8784D 8785A 8793M
8794M 8795D 8803M 8804M 8805D 8813W 8814M 8815D 8823W 8824M 8825D

Off-Whites:

8220W 8221W 8640W 8650W 8680W 8681W 8690W 8691W 8710W 8711W 8720W 8721W 8730W
8731W 8740W 8741W 8750W 8751W 8820W

Accent Colors: (Kwal-Howells)

8326N 8336N 8376N 8455D 8456A 8466N 8475D 8476N 8495D 8496A 8505D 8506A 8515D
8516A 8525D 8526A 8555D 8556A 8565D 8566N 8575D 8576N 8585D 8586A 8595D 8596N
8605D 8606N 8625D 8626N 8876N 8886N 8896N

Stone Colors:

Cultured Stone Cobblefield – Brown, Gray, Ohio
Dressed Fieldstone – All colors
Water Wash – All colors
Eldorado Cobblestone - All colors except Coal Canyon
Country Rubble – Chateau, English, Serrano, Tularosa
Limestone – Appalachian, Cheyenne, Monterey, Pasadena
Sandstone - Silver Creek

Brick Colors:

Robinson Brick New Traditions - Cambridge, Greymohr, Old Charleston, Old Chestnut, Old
Delaware, Old Georgetown, Santarosa

Note: Color palettes subject to change without notice due to manufacturer availability.

ARCHITECTURAL COLOR PALETTES

EXHIBIT 3-R

3.7 Accessory Structures

3.7.1 Single-family

All accessory structures such as garden or utility sheds, green houses, gazebos and detached garages must match the architectural details, material and color of the residence on that lot must be of new materials and maintained in like-new condition. All submittals will be reviewed by the ARB on a case-by-case basis.

Structures must be constructed, located and screened to minimize the impact to adjacent properties, common area or the golf course. Structures facing corner lots must be screened from the side street with evergreen trees.

Maximum size of any accessory structure (except detached garages) is 120 square feet and 8 feet in height. Detached garages will be reviewed by the ARB on a case-by-case basis.

Gazebo architecture must be consistent with and complimentary to the style, material, and color of the house. The maximum size of a gazebo is 100 square feet and 12 feet in height.

Refer to **Section 2.14** of the Community Guidelines for setback requirements. Refer to **Section 9.4** of the Declaration for additional information.

3.7.2 MULTI-FAMILY

- a. **Clubhouse and Recreation Buildings** – Clubhouses and recreation buildings shall make a strong architectural statement consistent with the architectural style of the project, as well as provide amenities not available in individual residential units.
- b. **Storage Buildings** – Storage buildings must have the same level of architectural detail as the residential buildings within the project.
- c. **Detached Garages** – Detached garages, when provided, must provide a similar roof treatment to the residential buildings they serve. Six car detached garage structures are preferred as a maximum. Acceptable visual breaks for longer structures are: a minimum 2 foot wall offset; a minimum 2 foot roof break; or a minimum 10 foot landscape separation. Refer to **Section 3.5.3** for garage door requirements.
- d. **Carports** – Carports must have a minimum 6-inch tall fascia wrapping all four sides of the roof. Carport color, including roofs, must complement the development.
- e. **Trash Enclosures** – Refer to **Section 5.5.3** for specific guidelines.

- f. **Mailboxes** – Grouped or ganged mailboxes shall utilize mailbox designs approved by the United States Postal Service and be located in enclosures to provide shade and weather protection. The mailbox enclosure shall integrate lighting and a trash receptacle into their design and continue the architectural theme of the project. Mailbox enclosures shall be located convenient to short term parking and meet federal accessibility standards.

3.8 EXTERIOR BUILDING EQUIPMENT

3.8.1 MECHANICAL, ELECTRICAL, AND COMMUNICATIONS EQUIPMENT

All mechanical and electrical equipment, including but not limited to soft-water tanks, cable television boxes, security apparatus, transformers, telephone boxes, and electric and gas meters, must be integrated into a building's design, screened from public view, or when appropriate, enclosed in a suitable accessory structure. Refer to City Utility Standards for requirements for landscaping and screening of utility vaults and meters.

Air-conditioning and evaporative cooling units may not be located on roofs, in windows, or mounted on the sides of buildings. All air-conditioning units shall be located at ground level, adjacent to buildings they serve, and screened from public view.

3.8.2 ANTENNAS AND SATELLITE SYSTEMS

In accordance with the Telecommunications Act of 1996, satellite dishes measuring 1 meter in diameter or less must be installed such that acceptable signal reception is not impaired. Dishes should be located at the lowest possible level, screened from public view and placed in the rear or side. Refer to **Section 9.4** of the Declaration for additional information.

Citizen band radio and television antennas and satellite dishes greater than 1 meter in diameter are strictly prohibited. The appropriateness of any other external antennas shall be determined by the ARB on a case-by-case basis.

Prior to installation, owners must register their satellite dish with the PCVA via a registration form available from the ARB.

3.8.3 Solar Panels and Equipment

When solar panels are used, they are to be integrated into roof designs and positioned flush with roof slopes. Frames must be colored to complement roofs to which they are attached. Related plumbing and mechanical equipment must be enclosed and/or screened from view.

3.8.4 Gutters, Downspouts and vents

Gutters and downspouts should be integrated into the designs of buildings and appear as a continuous architectural element. Drainage solutions should be unobtrusive to the overall building. Downspouts should be located on vertical members in inconspicuous locations. **The color of all gutters, downspouts, flashing, sheet metal, vent stacks and pipes shall match those of the surfaces to which they are attached or from which they project.**

4. Landscape

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4. Landscape

4.1 PURPOSE

The landscape guidelines for Pine Creek are intended to promote variety while strongly unifying neighborhoods and adjoining lots.

The design principles and features to be used to achieve the landscape character for Pine Creek include:

- a. Provide a variety of seasonal color, textures and forms. This will provide year-round interest, promote diversity for formal to informal and “oasis” to “native” for trees, shrubs and groundcovers.
- b. Allow landscape to “flow” throughout the community instead of delineating lot lines. A natural transition of landscape between lots and along the golf course and common areas is required to provide unity.
- c. Emphasize streetscape. Include landscaped medians, cul-de-sac islands, roundabouts and parkways to soften roadways and provide needed shade in the summer.
- d. Utilize landscape to enhance desirable views and to screen less desirable views. The proper placement of landscape materials is important in how the community looks and feels.
- e. Provide sufficient size and quantity of landscape materials for initial impact. The landscape should feel substantive even in the community’s early years.
- f. Allow streetscape elements such as walls, fences, entry monuments, street furnishings and lighting to create a unified theme throughout Pine Creek.

4.2 GENERAL LANDSCAPE CRITERIA

4.2.1 WATER CONSERVATION

Builders, parcel developers and homeowners are urged to utilize plant materials, irrigation systems, and maintenance practices that conserve water and are drought tolerant as defined in the City of Colorado Springs landscape ordinance. Although water conserving landscaping or “xeriscape” is often associated with a rather bleak, “dry-land” appearance, a traditional “green” appearance can be achieved – and is desirable for the Pine Creek setting – while still using significantly less water than typical suburban residential landscapes.

Where applicable, drought tolerant turf grasses such as Fescue, Buffalo Grass, and Blue Grama are encouraged to provide a lush green look that requires less water and maintenance.

4.2.2 IRRIGATION

An automated, underground irrigation system is required for all yards. Overhead spray irrigation is recommended for turf areas and perennial/annual beds only. Drip irrigation is strongly encouraged for shrub beds to conserve water. Drip irrigation tubing must be buried beneath rock or wood mulch cover. Irrigation should be designed and maintained to avoid over-spray onto any paved surface, wall or fence. Irrigation plans do not require ARB or MC review and approval.

4.2.3 PLANT MATERIAL SETBACKS

Cottonwoods and willows are not recommended within 10 feet of building foundations, driveways, curbs, or other site structure that may be damaged by their vigorous, shallow root system.

Evergreen trees should not be planted within 8 feet of any roadway, sidewalk or building entrance where their mature size may obstruct access and/or visibility. Neither should they be placed within site visibility triangles at intersections. Evergreen trees should not be located where their shadow may cause icing on paved surfaces. Refer to City sight visibility requirements.

4.2.4 MINIMUM PLANT MATERIAL SIZES

The minimum size for plant materials in Pine Creek is:

- Deciduous Trees: 2-inch caliper
- Evergreen Trees: 8-foot height
- Ornamental Trees: 1½ -inch caliper
- Shrubs: 5-gallon container

Smaller trees will be reviewed by the ARB or MC on a case-by-case basis for lots that exceed the required minimum quantity and for interior side and rear yard locations. Multi-stem trees such as aspens require at least one stem measuring 1-inch caliper minimum.

4.2.5 PLANT MATERIAL SELECTION

All trees and shrubs are to be selected from the list of Approved Plant Materials in **Section 4.6**. Due to the large variety and changing availability of materials, plants not on the list will be considered on a case-by-case basis.

4.2.6 TURF SELECTION

All turf areas must be sodded, not seeded. Areas requiring turf such as parkways, front yards and corner side yards may use common bluegrass or various grass blends available from local nurseries and suppliers. Artificial turf is prohibited.

4.2.7 ROCK AND WOOD MULCH

Shrub and perennial beds must be mulched with either rock or wood mulch and lined with landscape fabric or other acceptable weed barrier. The combining of rock and wood mulch in the same planting bed is NOT permitted. No bare ground may be left exposed.

A similar type and color of mulch must be used in abutting planting beds on adjacent lots to unify the landscapes. The use of two different colors of rock mulch in the same bed is not allowed.

Rock mulch size shall be a minimum of ¾ inch diameter and a maximum of 1-1/2 inch diameter. Smaller mulch may be used in sandboxes and larger sizes may be used in drainage and accent areas as specifically approved by the ARB or MC. Acceptable rock mulch color includes natural, earth-toned colors. Prohibited rock mulch includes: lava rock, white marble, black granite or any similar types and colors to these materials. Dyed or painted rocks are also prohibited.

Wood mulch must be of high quality and consistent size. It should be of natural color without added pigment.

4.2.8 EDGING MATERIALS

All mulched areas adjacent to turf shall utilize a metal, concrete, brick or other professional quality edger to define the planting bed and provide a clean maintenance edge. Other types of edging materials will be reviewed on a case-by-case basis. Recommended edger height is 2-3 inches above grade.

4.2.9 LANDSCAPE GRADING

Planting and hardscape areas shall not impede or significantly alter drainage patterns. Lot grading should produce graceful contours, not sharp angles or abrupt grade changes. Smooth transitions shall be made from the lot to the golf course or common areas. Refer to **Section 4.3.8** for additional criteria.

Positive drainage away from all dwellings shall be provided at completion of initial construction of the home by the builder and maintained thereafter by the homeowner. Homeowners shall not alter the approved, engineered drainage patterns of the lot as this may cause flooding to basements, cause erosion to adjacent properties or void the homeowner's foundation warranty.

4.2.10 PHASED CONSTRUCTION

Graded areas left vacant due to project phasing shall include erosion control devices with the completion of any first phase of construction in order to prevent soil erosion.

4.2.11 LANDSCAPE RESTRICTION

Builders, parcel developers and homeowners should refer to all current City standards for landscaping within a site visibility triangle, around fire hydrants and around utility boxes, vaults and meters.

4.3 SINGLE FAMILY LANDSCAPE

4.3.1 LANDSCAPE INSTALLATION TIMING

A landscape plan for the entire yard must be submitted to the ARB for approval no later than 30 days after closing and all landscaping shall be installed no later than 90 days after closing, weather permitting. Lots not landscaped within this timeframe may be subject to sanction. The typical planting season runs from April 15th to October 15th.

4.3.2 LANDSCAPE DEPOSIT

A Landscape Deposit Program has been implemented to ensure the quality and prompt installation of landscaping in Pine Creek. Unless builder installs all landscaping prior to closing of the lot, this deposit must be paid at the time of closing by at the time of closing by the first lot owner. The landscape deposit required at closing is based on the value of the completed home. Refer to **Appendix B** of the Community Guidelines for the required deposit amount.

The landscape deposit is refunded in two parts. Fifty percent (50%) of the deposit is for landscape plan approval. This amount will be refunded to the homeowner upon landscape plan approval by the ARB. If the landscape plan is approved before closing, only 50% of the total landscape deposit will be due at closing.

The remaining 50% of the deposit is for landscape installation. This amount will be refunded to the homeowner upon completion of the landscape in compliance with the ARB approved landscape plan. The homeowner must notify the ARB when landscape installation is complete and ready for inspection. The ARB will typically inspect the landscaping within one week of notice, but will have up to 15 working days to conduct the inspection. The landscape deposit will be refunded in a timely manner following inspection approval.

In the event the landscape is not completed within the required period, the ARB may elect to install the required landscape from the deposit of the homeowner.

4.3.3 STREET TREE LANDSCAPE

A semi-formal planting of deciduous street trees is required within the “street tree planting zone” along all residential streets in Pine Creek. The street tree-planting zone is defined as the parkway area between the back of curb and sidewalk for detached sidewalks. Street trees shall be centered in the parkway strip between the curb and sidewalk. For lots having attached sidewalk, the street tree-planting zone is defined as a 7-foot strip from the back of sidewalk. Street trees shall be located between 4 feet and 7 feet from the back of sidewalk. The lot owner shall determine the planting location along the street frontage. Refer to **Exhibit 4-A**.

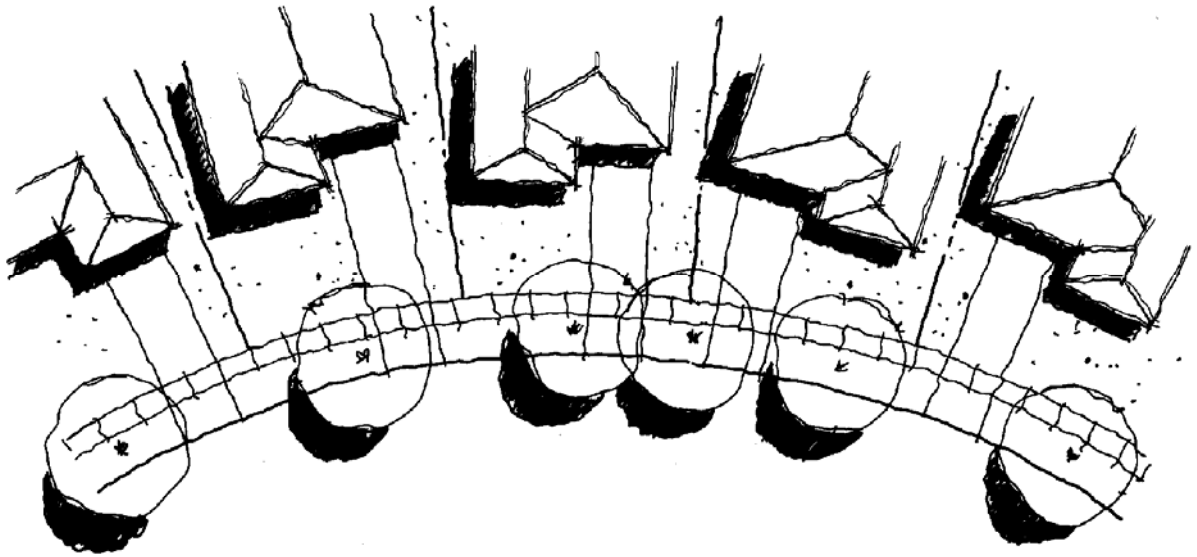
The number of street trees required per lot is based on street frontage as measured along the street right-of-way indicated on the recorded subdivision plat. This applies to both front yards and corner side yards.

<u>LOT FRONTAGE*</u>	<u>MIN. TREES REQUIRED</u>
• Up to 60 feet	1
• 61 to 90 feet	2
• 91 to 120 feet	3
• 121 feet or greater	4

* Lot frontage is measured along the street property line.

Street trees should be spaced a minimum of 15 feet on-center to provide for adequate canopy growth at maturity.

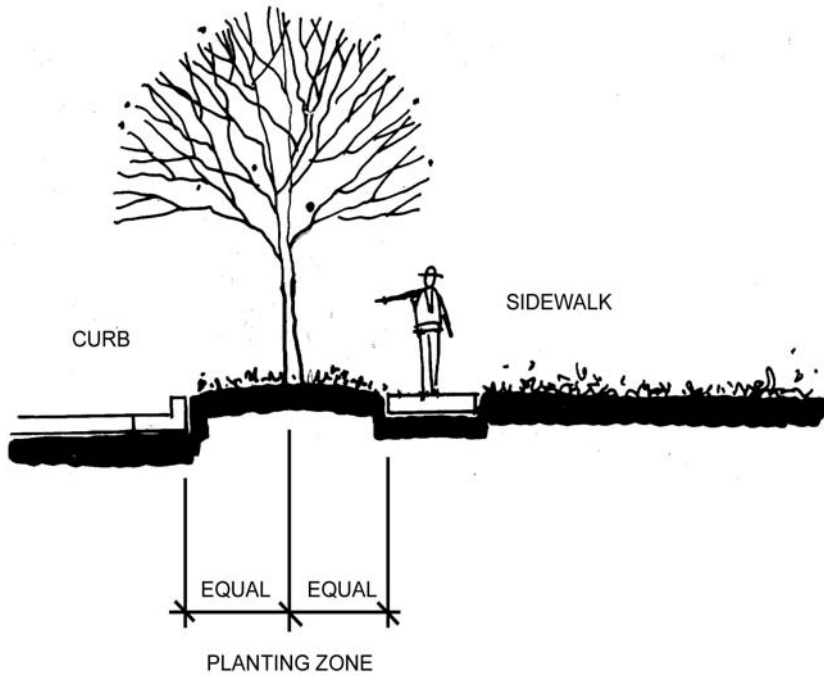
Street trees shall be selected from the deciduous trees list on the Approved Plan Materials table in **Section 4.6**.



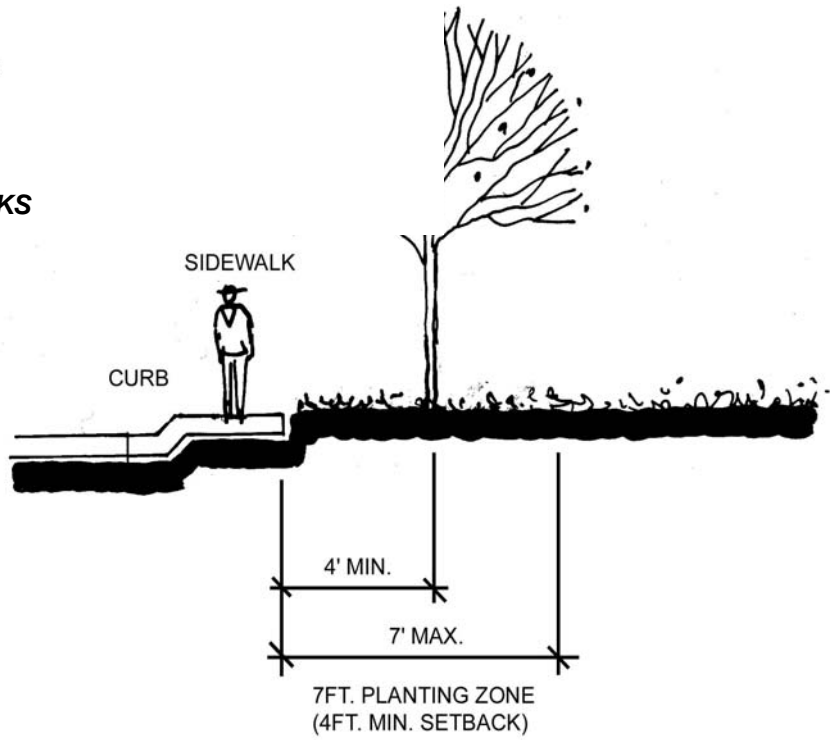
SEMI-FORMAL STREET TREE PLANTING

STREET TREE LANDSCAPE

EXHIBIT 4-A



FOR DETACHED WALKS



FOR ATTACHED WALKS

STREET TREE PLANTING ZONES

STREET TREE LANDSCAPE

EXHIBIT 4-A (Cont'd)

4.3.4 FRONT YARD LANDSCAPE

In addition to the Street Tree Landscape requirements, front yards shall be fully landscaped using the following minimum plant quantities:

LOT SIZE	MIN. PLANTING REQUIREMENT
• Up to 12,000 square feet	2 trees, 8 shrubs and 15 perennials
• 12,000 square feet or more	3 trees, 12 shrubs and 25 perennials

Planting requirements on cul-de-sac and flag lots will be reviewed by the ARB or MC on a case-by-case basis.

All exposed house foundation visible from the street, common areas or the golf course must be screened using a mixture of medium to large shrubs to provide substantial coverage within a 2-year growth period.

Unplanted rock or wood mulch areas are not permitted in the front yard. Shrubs and ground covers should be spaced a maximum of 4 to 6 feet on-center depending on species. A maximum of 70% of the front yard area may be treated with non-turf.

All parkways shall be planted with turf and irrigated. Rock and wood mulch is not permitted except where the planting space is constrained by utility boxes. Rock mulch may be used around the perimeter of the utility box. A small ring of wood mulch up to 2 feet in diameter may be placed around street trees for optimum tree growth.

Lawns are limited to a minimum of 30% and a maximum of 50% of the non-paved area of the front yard (excluding the turf requirement above). The recommended minimum width of a lawn area is 4 feet. Turf shall be kept at least 3 feet from a building face.

The minimum width of an entry walk is 4 feet.

4.3.5 CORNER SIDE YARD LANDSCAPE

In addition to the Street Tree Landscape requirements, corner side yards shall be fully landscaped and irrigated. The side shall have a minimum of 75% organic ground coverage.

All exposed house foundation visible from the street, common areas or the golf course shall be screened using a mixture of medium to large shrubs to provide substantial coverage within a 2-year growth period.

Unplanted rock or wood mulch areas are not permitted along corner side yards. Shrubs and ground cover should be spaced a maximum of 4 to 6 feet on-center depending on species.

All parkways shall be planted with turf and irrigated. Rock or wood mulch is not permitted except where the planting space is constrained by utility boxes, etc. A small ring of wood mulch up to 2 feet in diameter may be placed around street trees for optimum tree growth.

4.3.6 SIDE AND REAR YARD LANDSCAPE

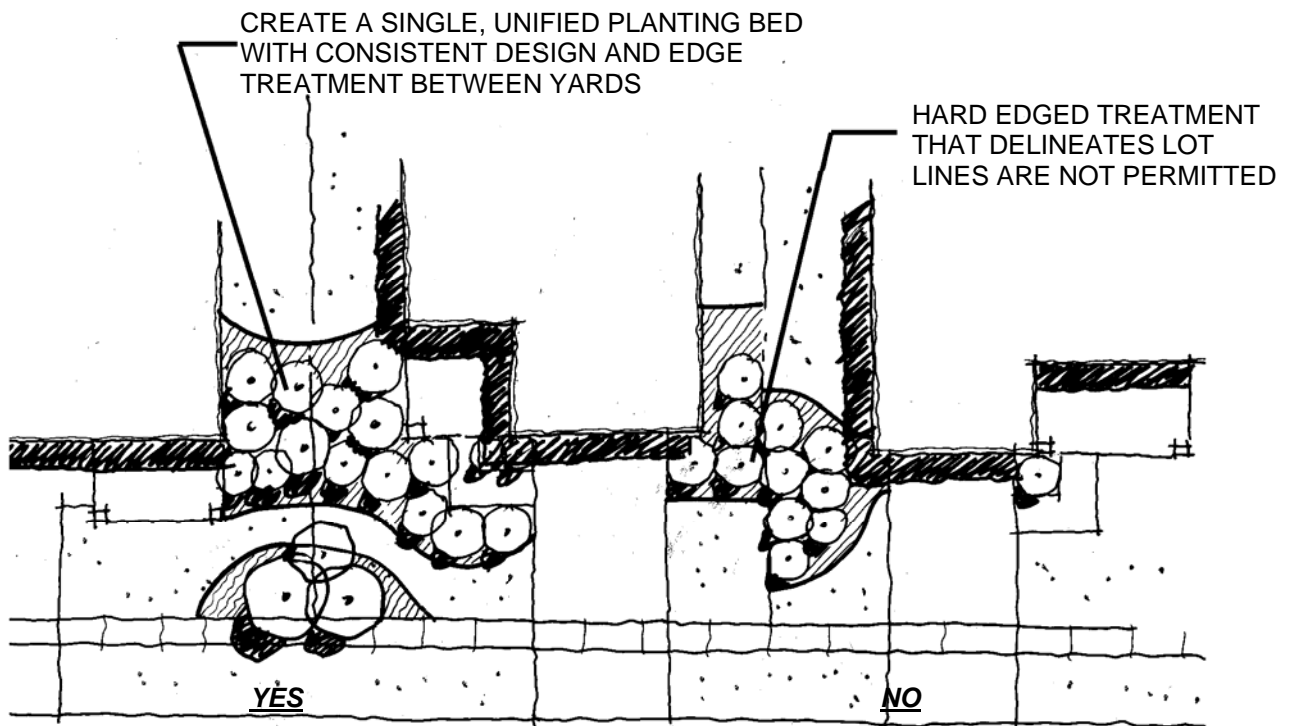
Visibility of side and rear yards from the street, common areas and the golf course will be considered when reviewing landscape plans. In general, all side and rear yards must be fully landscaped at the lot owner's discretion. However, high visibility yards will require greater landscape. In any case, large, unplanted rock or wood mulch areas are not permitted.

Where no side yard fencing occurs, landscaping must blend with adjacent landscape to avoid delineating property lines. Refer to Section 4.3.7.

Refer to Section 4.3.8 for additional requirement adjacent to the golf course and common areas.

4.3.7 LANDSCAPE TRANSITION BETWEEN LOTS

Landscaping between lots shall provide a cohesive relationship. Tree and shrub massings should blend together, and hard edges such as mow strips, edging and walls between lots should be minimized. Refer to Exhibit 4-B. Refer to Section 4.2.7 for mulch requirements on abutting lots. This requirement is waived for abutting lots separated by a solid wood fence.



TYPICAL LANDSCAPE TRANSITION BETWEEN LOTS

LANDSCAPE TRANSITION BETWEEN LOTS

EXHIBIT 4-B

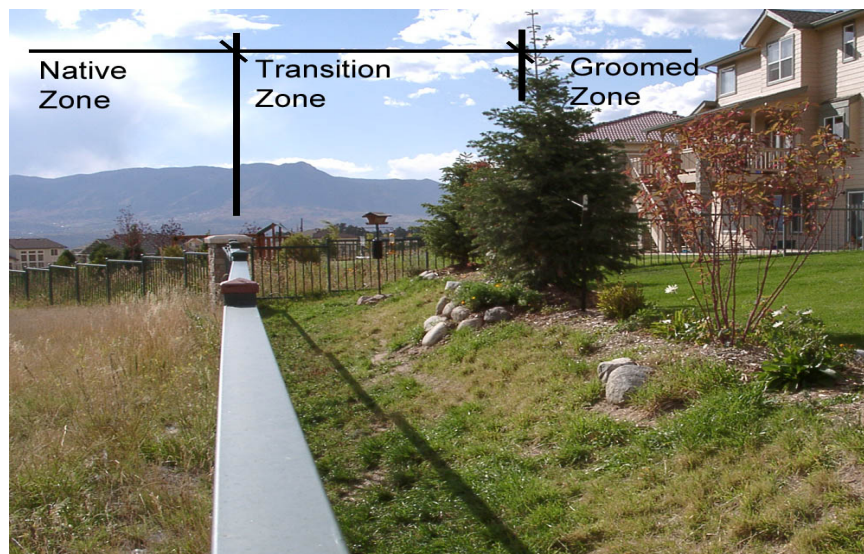
4.3.8 GOLF COURSE/COMMON AREA TRANSITION ZONE

- a. VISION - Pine Creek was designed to integrate with the extensive golf course and common areas within the community. In order to preserve and enhance these natural amenities, a number of requirements were

established such as the Transition Zone for adjacent lots. The intent of the Transition Zone requirements is to soften the edge between the native areas and manicured yards. This section will guide homeowners through the design and installation process to help achieve the community's goals.

b. **BENEFITS** - The use of native materials is a common practice adjacent to greenbelts, open space and golf courses. Landscape beds without sod require lower maintenance once established. In addition, the Transition Zone supports the City of Colorado Springs Landscape Ordinance in the following ways:

- Water Conservation- Conserve water resources using Xeriscape principles.
- Aesthetics- Enhance the regional landscape character of the City through the incorporation of native and compatible introduced plants.



The Transition Zone acts as a gentle buffer between native and manicured areas.

c. **TRANSITION ZONE REQUIREMENTS**

- Where a lot abuts a non-irrigated or "native" portion of the golf course or common areas, an undulating Transition Zone shall be created on the lots to blend into the golf course or common area. This line should be 10 feet from the rear fence at the side property line and may meander as close as 7 feet to the rear fencing within the lot.
- A combination of trees, shrubs, perennials, native grasses and wildflowers are required within the Transition Zone.





A great variety of planting materials is encouraged.

- One tree per 30 linear feet of lot frontage is required within the Transition Zone. Trees may be clustered or evenly spaced. Trees may be evergreen, deciduous or ornamental species. Refer to **Section 4.2.4** for size requirements.
- Evergreen and deciduous shrubs add vertical interest and year-round color to the Transition Zone. Shrubs should be spaced a maximum of 4 to 6 feet on-center. Placement should not create a continuous vertical hedge with the native area. Refer to **Section 4.2.4** for size requirements.
- Native grasses should be used as the primary groundcover with ornamental grasses as accents. Perennials, wild flowers or seed may be used to add color. Plant material shall be planted extensively enough to allow for substantial (80%) coverage of the Transition Zone within two years. Refer to **Section 4.3.7.d**.
- Wood mulch may be used as a groundcover. Regularly spaced plantings within wood mulch areas will be required to provide substantial coverage of the wood mulch. Wood mulch should be installed at a minimum 3-inch depth and not be allowed to gather above grade along the view fence. Rock mulch is not allowed within the Transition Zone. Refer to **Section 4.2.7** for mulch requirements.
- Rock drainage channels perpendicular to the rear property line are allowed where large amounts of water flow through the Transition Zone. 4 to 8 inch-diameter rock cobble may be used. The width of the drainage channel shall not exceed 2 feet.

- Large boulders may be used sparingly to add interest without creating a manmade appearance or detracting from the otherwise native plantings.



Established transition zone consists of the same plant materials as the native edge of the golf course.



The transition zone does not require identical plant materials as the native area behind it. This is a mixture of shrubs planted at a correct density of material.



Layout before native grasses take root. More plantings would be needed if the groundcover were wood mulch.

d. NATIVE SEED IMPLEMENTATION

Native seed recommendations for establishment:

- Apply organic matter (compost, decomposed cow manure, high-grade topsoil, an average of approximately three cubic yards) to the soil within the transition zone and till into top 4 to 6 inches of soil.
- Rake transition zone smooth and apply native seed mix at recommended rate. The "Foothills Mix" is recommended. Other seed mixes may be used, however, mixes containing a majority of bluegrass or fescue species are not considered "native". Wildflower seed mix may be added to the native seed mix for added color.
- Rake seed into top ¼ inch of soil and fertilize. Apply erosion control fabric if erosion is a concern while getting seed to establish. Lay and pin down erosion control fabric per manufacturer's instructions.
- Water seedbed regularly to promote seed growth.
- Maintain and weed the seeded area regularly. Over-seed the bed (with the same native grass mix) as necessary. Native seed should be reintroduced wherever it has not taken root.
- Be patient. The native seed can take between 6 and 18 months to fully establish itself. Maintenance, including spring fertilization, is a key factor in the speed and success of the establishment.

e. VIEW FENCE RELATIONSHIP

- No dirt or ground cover may be backfilled against the view fence. Finish grade should have a smooth transition adjacent to the fence. Plant material touching the painted metal will need to be trimmed during repainting and maintenance of the fence.



Wood mulch installed too thick is gathering above grade along the view fence. This is not permitted.

f. EXAMPLES



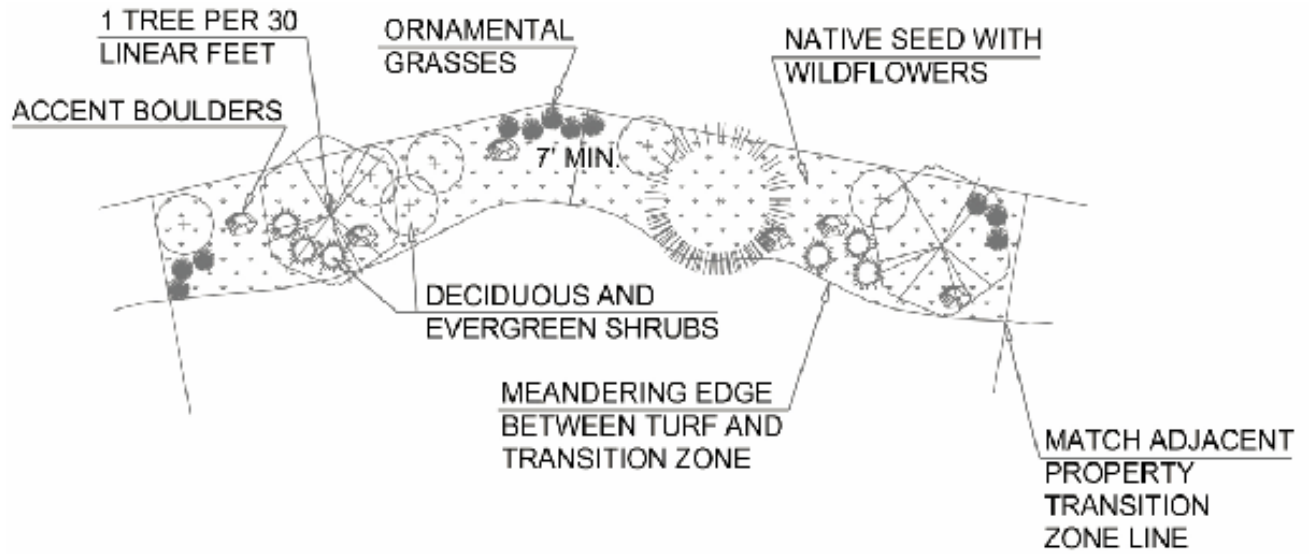
Native Grass Ground Cover

- Complementary native grass used adjacent to native areas.
- Native grasses should be allowed to grow naturally.
- Wood mulch is confined to the base of trees and shrubs only.

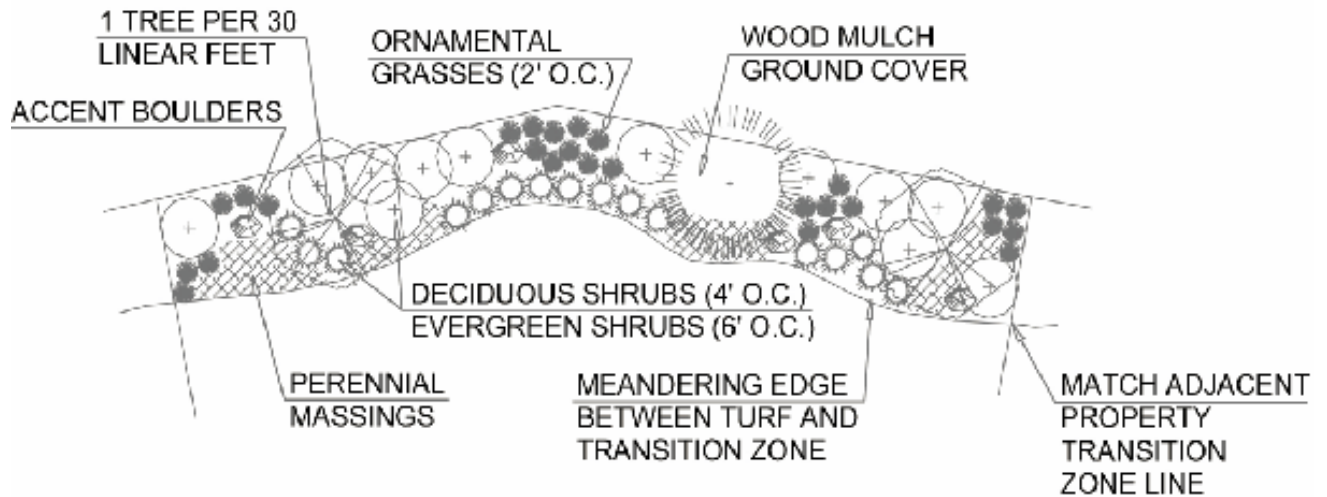


Wood Mulch Ground Cover

- Wood mulch is used as a ground cover.
- Proper plant spacing provides substantial coverage of mulch in 2 years.



NATIVE GRASS GROUND COVER



WOOD MULCH GROUND COVER

4.4 MULTI-FAMILY LANDSCAPE

4.4.1 PARKING LOT LANDSCAPE

Parking lots shall be landscaped to reduce their visual impact and provide shade. Parking lot landscaping shall provide at least one tree for every 10 parking spaces. Landscape islands shall contain a minimum of one tree per parking stall depth. Refer to **Section 2.2.4** for additional information on parking.

In addition, parking lots shall be screened from village roadways, common areas and the golf course through the use of berms, walls and landscape. Refer to **Exhibit 2-E**.

4.4.2 OPEN SPACE/AMENITY LANDSCAPE

The general landscape areas within projects, exclusive of parking lot areas shall be planted with a minimum of one tree for every 500 s.f. of total landscape area. Non-paved areas must contain a 50% minimum vegetative cover. All exposed building foundations shall be screened using a mixture of medium to large shrubs to provide substantial coverage within a 2-year growth period. Refer to the City of Colorado Springs landscape ordinance for additional requirements.

4.5 MODEL HOME AND SALES CENTER LANDSCAPE

4.5.1 MODEL HOMES

The landscape requirements for model homes are the same as those for private lots. Refer to **Section 4.3**. Upgrades are recommended. This includes requirements for all front, side and rear yards as well as for street trees, corner side yards and lots that are adjacent to the golf course or common areas. All required landscape for model homes shall be installed within 10 days of the model home opening, weather permitting. Refer to **Section 2.3.5** for additional requirements.

Flood or wall-wash lights used to illuminate the exterior of models are not permitted to operate past 10:00 p.m.

4.5.2 SALES TRAILERS

Temporary sales trailers shall be landscaped immediately upon delivery. There shall be a minimum of 3 trees and 12 shrubs. 5-gallon evergreen shrubs shall be used to hide the base of the trailer from view. Rock or wood mulch is required for all planting beds and non-landscaped area. No bare ground may be left exposed.

4.6 APPROVED PLANT MATERIALS

A palette of plant materials has been established for use in Pine Creek. Plant materials should be selected from this list. However, due to the wide variety of materials available, plants not on this list will be reviewed on a case-by-case basis by the ARB. Refer to **Exhibit 4-D**.

DECIDUOUS TREES						
Common Name	Botanical Name	Water	Maintenance	Street	Remarks	

		Requirement Requirement		Tree	
Norway Maple	Acer platanoides-(3)	Medium	Low	Yes	Good fall color (yellow)
Red Maple	Acer rubrum	M	L	Yes	Good (yellow to red) fall color
Autumn Blaze Maple	Acer rubrum 'Autumn Blaze'	M	L	Yes	Good fall color (red)
Wier's Cutleaf Maple	Acer saccharinum 'Wier'	M	H	No	Very susceptible to snow storm
Sugar Maple	Acer saccharum	High	L	Yes	
Ohio Buckeye	Aesculus glabra	M	L	Yes	Poisonous seeds, good fall color
Native Riverbirch	Betula fontinalis	H	L	No	
Western Catalpa	Catalpa speciosa	M	M	No	Fruits can be messy
Western Hackberry	Celtis occidentalis	M	L	Yes	
Autumn Purple Ash	Fraxinus americana 'Autumn'	M	L	Yes	Good fall color (yellow to red)
Green Ash	Fraxinus pennsylvanica	M	L	Yes	Good fall color (yellow)
Honeylocust	Gleditsia triacanthos inermis (3)	M	L	Yes	
Lanceleaf Cottonwood	Populus acuminata (1)	M	H	No	Best used in parks, open space
Narrowleaf Cottonwood	Populus angustifolia (1)	M	H	No	Best used in parks, open space
Siouxland Cottonwood	Populus deltoides (1)	M	H	No	Best used in parks, open space
Plains Cottonwood	Populus sargentii (1)	M	H	No	Best used in parks, open space
Bur Oak	Quercus macrocarpa	M	L	Yes	
Pin Oak	Quercus palustris	M	L	Yes	Good fall color (bronze to red)
English Oak	Quercus robur	M	L	Yes	Good fall color
Northern Red Oak	Quercus rubra borealis	M	L	Yes	
Peachleaf Willow	Salix amygdaloides (1)	H	H	No	Best used in parks, open space
Weeping Willow	Salix elegantissima (1)	H	H	No	Best used in parks, open space
Niobe Weeping Willow	Salix x blanda 'Niobe' (1)	H	H	No	Best used in parks, open space
American Linden	Tilia americana	M	L	Yes	
Little Leaf Linden	Tilia cordata	M	L	Yes	
Redmond Linden	Tilia euchlora 'Redmond'	M	L	Yes	

EVERGREEN TREES (2)

Common Name	Botanical Name	Water	Maintenance	Street Tree	Remarks
		Requirement	Requirement		
White Fir	Abies concolor	M-H	Low		
Oneseed Juniper	Juniperus monosperma	Low	L		
Rocky Mountain Juniper	Juniperus scopulorum 'Var.'	L-M	L		
Red Cedar	Juniperus virginiana 'Varieties'	M	L		
Black Hills Spruce	Picea gaucha densata	M-H	L		
Colorado Blue Spruce	Picea pungens 'Glauca'	M-H	L		
Colorado Green Spruce	Picea pungens	M	L		
Bristlecone Pine	Pinus aristata	L-M	L		
Pinon Pine	Pinus edulis	L-M	L		
Limber Pine	Pinus flexilis	L-M	L		
Swiss Mountain Pine	Pinus mugo	L-M	L		
Austrian Pine	Pinus nigra	L-M	L		
Ponderosa Pine	Pinus ponderosa	L	L		
Southwestern White Pine	Pinus strobiformis	L-M	L		
Scotch Pine	Pinus sylvestris	L-M	L		
Douglas Fir	Pseudotsuga menziesii 'Taxifolia'	M	L		

PLANT MATERIAL PALETTE

EXHIBIT 4-D

ORNAMENTAL TREES

Common Name	Botanical Name	Water Requirement	Maintenance Requirement	Street Tree	Remarks
Amur Maple	<i>Acer ginnala</i>	M	L		Good fall color (orange to red)
Shadblow Serviceberry	<i>Amelanchier canadensis</i>	M	L		Nice fall color (yellow to red)
Eastern Redbud	<i>Cercis canadensis</i>	M-H	L		Showy flowers
Cornelian Dogwood	<i>Cornus mas</i>	M	L		Showy flowers
Thornless Cockspur	<i>Crataegus crus-galli inermis</i>	L	L		Thornless, good fall color Hawthorn (orange to red)
Cockspur Hawthorn	<i>Crataegus crus-galli</i>	L	L		Thorns, good fall color (orange to red)
Downy Hawthorn	<i>Crataegus mollis</i>	L	L		
Washington Hawthorne	<i>Crataegus phaenopyrum</i>	M	L		Good fall color (red)
Golden Raintree	<i>Koelreuteria paniculata</i>	M	L		Showy flowers
Flowering Crab	<i>Malus</i> varieties (3)	L-M	M		
Aspen	<i>Populus tremuloides</i>	M	M		Short lived at lower elevations
Wild Plum	<i>Prunus americana</i>	L	M		Suckers
Newport Purple Plum	<i>Prunus cerasifera 'Newport'</i>	M	L		Red-purple foliage
Canada Red Cherry	<i>Prunus virginiana 'Shubert'</i>	M	L		Red-purple foliage
Bradford Pear	<i>Pyrus calleryana 'Bradford'</i>	M	M		Not too hearty in this region, showy flowers
Ussurian Pear	<i>Pyrus ussuriensis</i>	M	L		Showy flowers
Peking Lilac	<i>Syringa pekinesis</i>	M	M		Showy flowers
Japanese Tree Lilac	<i>Syringa reticulata</i>	L-M	L		Showy flowers, good fall color (yellow)

DECIDUOUS SHRUBS

Common Name	Botanical Name	Water Requirement	Maintenance Requirement	Street Tree	Remarks
Thin Leaf Alder	<i>Alnus tenuifolia</i>	Medium	L		Nice fall color (yellow)
Serviceberry	<i>Amelanchier alnifolia</i>	Low	L		Nice fall color
Chokeberry	<i>Aronia melanocarpa</i>	High	M		Suckers, good fall color (red)
Sagebrush	<i>Artemisia</i> (3)	L	L		
Four Wing Saltbush	<i>Atriplex canescens</i>	L	M		
Korean Barberry	<i>Berberis koreana</i>	M	M		Thorns
Mentor Barberry	<i>Berberis mentorensis</i>	M	M		Thorns, good fall color (yellow to red)
Redleaf Japanese Barberry	<i>Berberis thunbergii atropurpurea</i>	M	M		Thorns
Green Japanese Barberry	<i>Berberis thunbergii</i>	M	M		Thorns
Blue Mist Spirea	<i>Caryopteris x clandonensis</i>	L	L		
Curlleaf Mountain Mahogany	<i>Cercocarpus ledifolius</i>	L	M		
Mountain Mahogany	<i>Cercocarpus montanus</i>	L	M		
Quince	<i>Chaenomeles</i> spp.	M	M		Showy flowers
Rabbit Brush	<i>Chrysothamnus nauseosus</i>	L	M		
Variiegated Dogwood	<i>Cornus alba bariegata</i>	M-H	M		
Colorado Redosier Dogwood	<i>Cornus sericea coloradense</i> (3)	M-H	M		Colored twigs provide nice winter color
Yellowtwig Dogwood	<i>Cornus sericea flaviramea</i> (3)	M-H	M		Colored twigs provide nice winter color
Kelsey Dwarf Dogwood	<i>Cornus sericea kelseyi</i>	M	M		
Redtwig Dogwood	<i>Cornus stolonifera</i>	M-H	M		Colored twigs provide nice winter color
Cranberry Cotoneaster	<i>Cotoneaster apiculata</i>	M	M		
Spreading Cotoneaster	<i>Cotoneaster divaricata</i>	M	M		
Rock Cotoneaster	<i>Cotoneaster horizontalis</i>	M	M		
Silverberry	<i>Eleagnus commutata</i>	M	M		
Burning Bush	<i>Euonymus alata</i> (3)	M	M		Nice fall color (red)
New Mexico Privet	<i>Forestiera neomexicana</i>	M	M		
Forsythia	<i>Forsythia intermedia</i>	M	M		Showy flowers
Honeysuckle	<i>Lonicera</i> (3)	M	M		
Mockorange	<i>Philadelphus</i> (3)	L-M	M		

PLANT MATERIAL PALETTE

EXHIBIT 4- D (cont'd)

Mountain Ninebark	<i>Physocarpus monogynus</i>	M	M		
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Potentilla	Potentilla fruticosa varieties (3)	M	M	Showy flowers
Sandcherry	Prunus besseyi	M	M	
Cistena Plum	Prunus cistena	M	M	
Native Chokecherry	Prunus virginiana melanocarpa	L-M	M	
Scrub Oak	Quercus gambelii	L	L	
Tallhedge Buckthorn	Thamnus frangula columnaris	M	M	
Smooth Sumac	Rhus glabra	L	M	Nice fall color (orange to red)
Threeleaf Sumac	Rhus tribata	L	M	Nice fall color (orange to red)
Staghorn Sumac	Rhus typhina	L	M	
Alpine Currant	Ribes alpinum	L-M	M	
Golden Currant	Ribes aureum	L-M	M	
Rose	Rosa (3)	L-M	M	
Coyote Willow	Salix exigua	M-H	M-H	Best in moist areas
Bluestem Willow	Salix irrorata	M-H	M-H	
Dwarf Willow	Salix purpurea nana	M-H	M-H	
Arctic Willow	Salix purpurea	M-H	M-H	
Elder	Sambucus canadensis	M-H	M	
Buffaloberry	Shepherdia argentea	L	M	
Spirea	Spiraea varieties (3)	M	M	
Snowberry	Symphoricarpos albus	M	M	
Lilac	Syringa varieties (3)	M	M	
Viburnum	Viburnum varieties (3)	L-M	M	Nice fall color (varies)
Privet	Vulgare (3)	M	M	

EVERGREEN SHRUBS

Common Name	Botanical Name	Water Requirement	Maintenance Requirement	Street Tree	Remarks
Euonymus Sarcocie	Euonymus forunei 'Sarcocie'	M	M		
Euonymus Manhattan	Euonymus kiautschovicus 'Manhattan'	M	M		
Juniper	Juniperus sp. (3)	L-M	L		
Oregon Grape Holly	Mahonia aquifolium	M	M		Nice fall colors (red to purple)
Holly Pyracantha	Pyracantha angustifolia	M	M		Nice fall/winter colors (red to purple)
Firethorn	Pyracantha coccinea (3)	M	M		
Yew	Taxus x media 'Hicksii'	L-M	L		

PERENNIALS, GROUND COVERS, AND ORNAMENTAL GRASSES

Due to the large quantity, variety, and changing availability of these plants, please consult your local nursery (preferably a C.N.A. Member). Height, color, texture, moisture, light requirement, and heartiness need to be considered when specifying these plants.

Notes:

1. It is not recommended that these plants be planted within 10 feet of any foundation, curb, road, walkway, or other site structure that may be damaged by their vigorous/shallow root system. Additional City of Colorado Springs restrictions may apply.
2. Evergreen trees are not recommended next to roadways, sidewalks or entrances where their mature size may obstruct passage or view. Evergreen trees shall not be placed within roadway site triangles. Evergreen trees should not be located where their shadow may cause icing on paved surfaces.
3. These plants have numerous species, varieties and/or cultivars. Consult a local nursery for current availability and proper selection.

L = Low water usage or amount of maintenance time
M = Medium water usage or amount of maintenance time
H = High water usage or amount of maintenance time

PLANT MATERIAL PALETTE

EXHIBIT 4-D (cont'd)

4.7 FENCING AND WALLS

4.7.1 VILLAGE VIEW FENCES AND WALLS

All fencing and walls built along the perimeter of a parcel, fronting a street, common area or the golf course, shall be consistent with the village fencing and wall plan established by the Master Developer. The plan identifies the location and type of fencing and walls required for all perimeters adjacent to a village roadway, common areas, and golf course edges.

Village view fences and walls consist of 2 types:

- a. **View Fence** – Consists of a 5-6 foot high metal fence where residential lots abut the golf course or common areas. The design will consist of tubular metal top and bottom rails and vertical pickets. All village view fences shall be painted Kwal-Howells 8596N “Olympic Pine”. Square tubular metal posts will be placed at 8-foot intervals and stone pilasters will be incorporated at intersecting property corners or major changes in fence direction. Refer to **Exhibit 4-E**.
- b. **Solid Wall** – Consists of 5-6 foot high stucco masonry walls and stone pilasters to be located where residential lots abut a village roadway within Pine Creek. Stone veneer will be included at key locations such as parcel entries. Pilasters will be spaced at approximately 100 feet on-center. Refer to **Exhibit 4-E**.

4.7.2 CONSTRUCTION AND MAINTENANCE RESPONSIBILITY

The Master Developer will be responsible for the construction of all village view fences and walls along single family parcels, common areas and the golf course unless specified otherwise in a sales contract. All other walls as defined in **Section 4.7.4** will be the responsibility of the builder, parcel developer or homeowner.

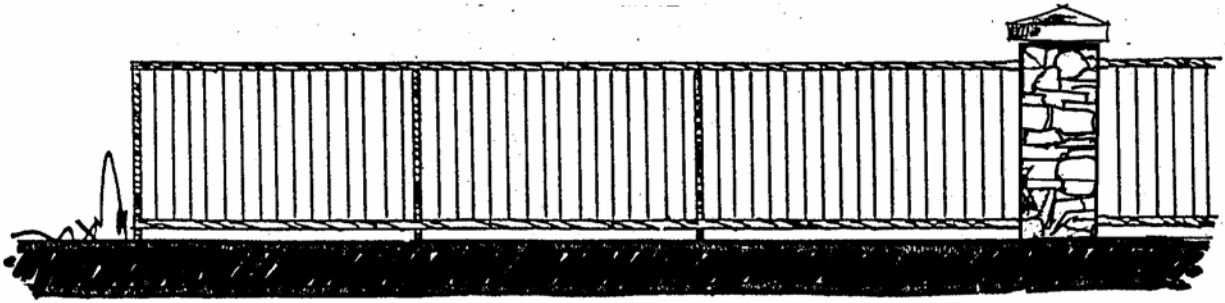
The PCVA is responsible for maintaining the outside face and top of village view fences and walls. Homeowners are responsible for maintaining the inside of the village walls after construction. All other fences as defined in **Section 4.7.4** will be maintained by the homeowner or neighborhood association if one exists.

4.7.3 PEDESTRIAN ACCESS TO GOLF COURSE

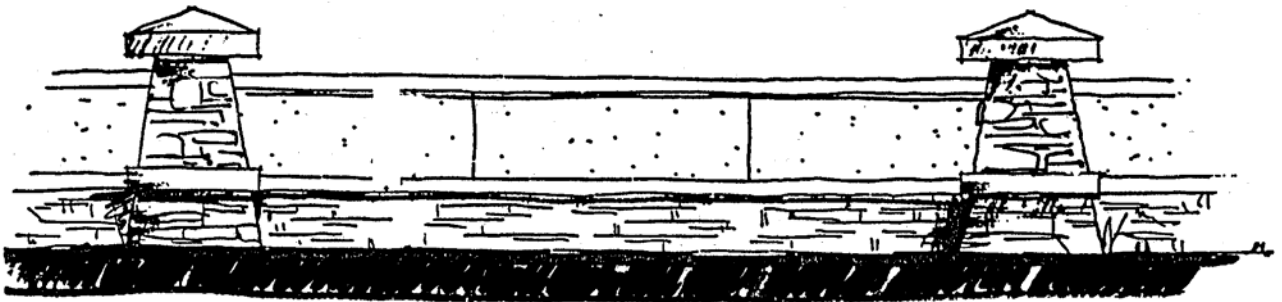
No pedestrian access will be provided or allowed onto the Pine Creek golf course.

4.7.4 LOT FENCES

Lot fences are defined as open or solid fences used to define interior lot-lines, including side and rear yards, and patio enclosures designed to provide privacy and screening between adjacent lots and homes. Lot fencing consists of the following 2 types:



VILLAGE VIEW FENCE



VILLAGE WALL

VILLAGE FENCES AND WALL TYPES

EXHIBIT 4-E

a. Interior Rear Yard Fencing

All solid wood fencing shall be constructed of high quality 4-inch cedar pickets placed vertically without spacing. The wood pickets shall face outward with the framework exposed to the interior of the yard. If adjacent lots are fenced at approximately the same time, the homeowners shall determine on which side of the fence the pickets will be located.

The maximum height of a lot fence is 5 feet. Where a lot fence meets a village wall, the lot fence must be at or below the village wall height for a minimum of 5 feet. Wood fences should slope rather than step to accommodate grade changes. Refer to **Exhibit 4-F**.

All wood fences shall be stained on all sides. The required stain color is "Pine Creek Fence" brown (BEHR Plus 10 Solid Color Stain). This is a custom color available at the Home Depot paint department on Academy Boulevard and Woodmen Road.

Supplemental covenants or deed restrictions may prohibit lot fencing or further limit the acceptable materials in some Pine Creek neighborhoods. Please contact the ARB for information pertaining to your neighborhood.

Prohibited fence materials include: plastic (PVC), chain link, wire-mesh (not used in conjunction with an open-rail fence for enclosing pets) and unfinished masonry.

Wing fencing must be set back a minimum of 5 feet from the front corner of the home. Wing fencing should match the setback of existing wing fencing on the adjacent property where possible.

Lot fencing must be set back a minimum of 15 feet from the back curb of all streets or 4 feet from the back of sidewalk, whichever is greater. Refer to **Exhibit 4-G**.

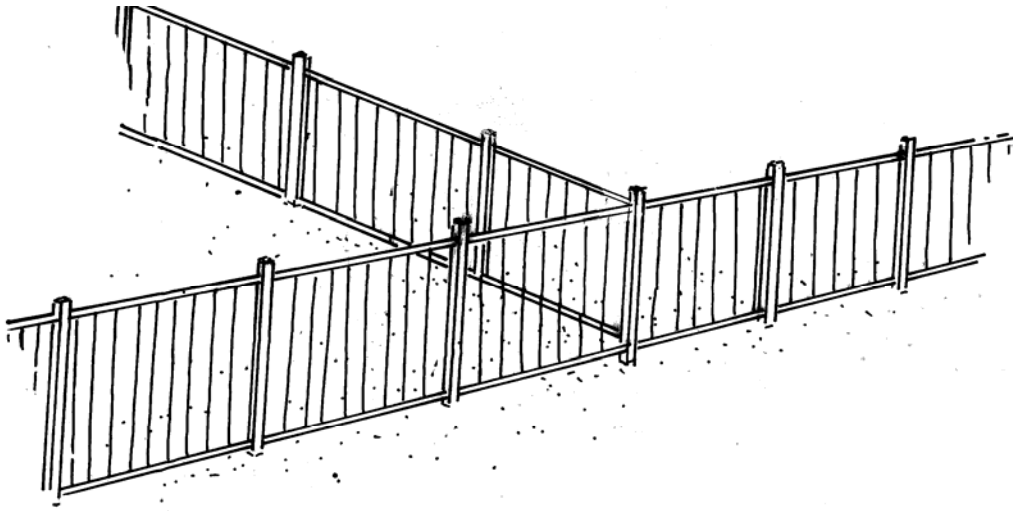
b. Golf Course and Common Area Rear Yard Fencing

All side yard lot fencing for lots adjacent to the golf course or common area view fence must match the golf course view fence in design and color. The required paint color is Kwal-Howells 8596N "Olympic Pine" (eggshell finish). Refer to **Exhibit 4-F**.

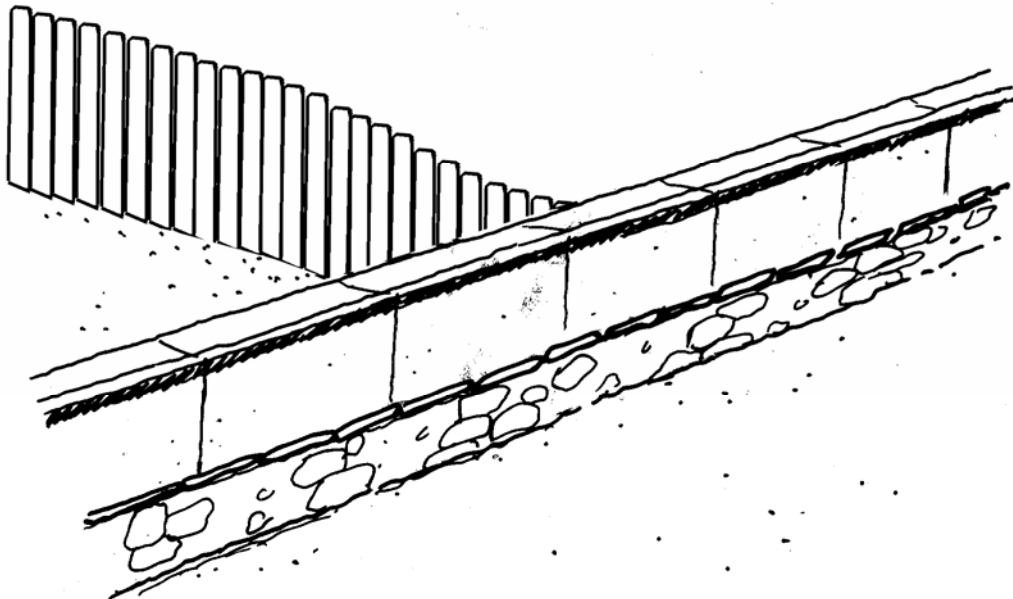
The maximum height of the view fence is 5 feet. Where the view fence meets the common area or golf course view fence, the fence must be at or below the village fence for a minimum of 8 feet.

View fences shall step rather than slope to accommodate grade changes. The maximum step height is 12 inches.

Wing fences may be cedar picket as described above.



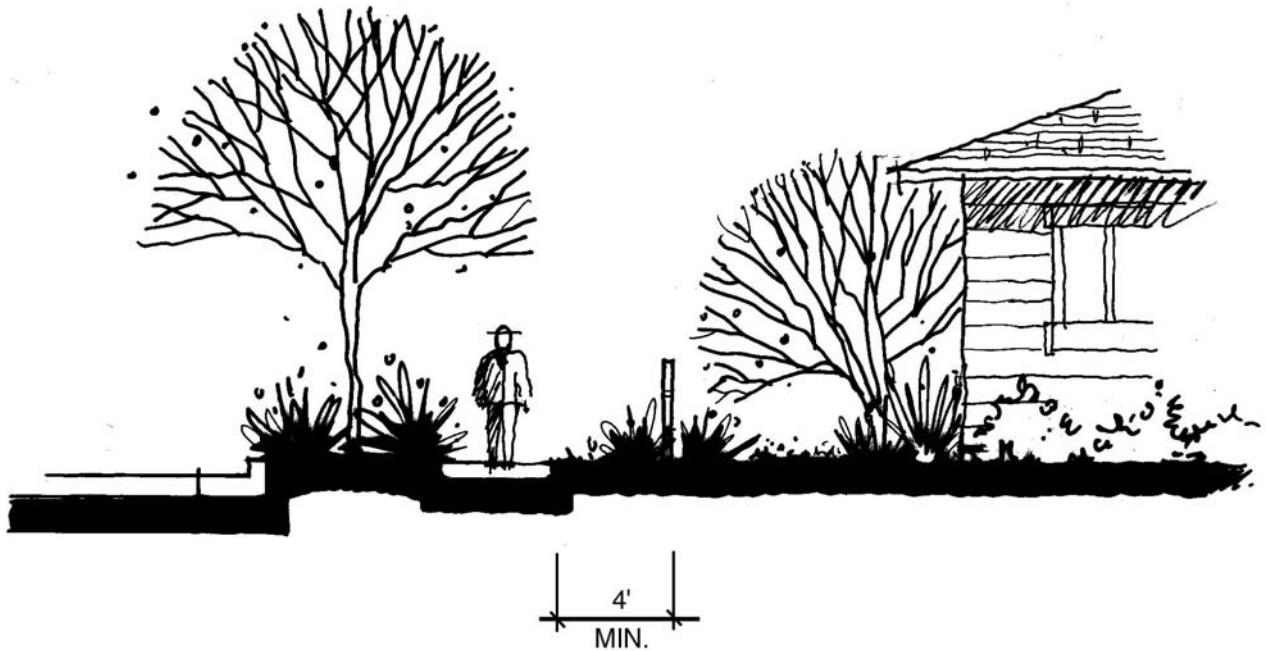
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CEDAR LOT FENCE TO VILLAGE WALL CONNECTION

LOT FENCE TO VILLAGE WALL CONNECTIONS

EXHIBIT 4-F



LOT FENCE SETBACK ALONG INTERIOR STREETS

SETBACK FOR LOT FENCES AND WALLS

EXHIBIT 4-G

4.7.5 RETAINING WALLS

Retaining walls shall not be placed within the 5-foot side and 7-foot rear yard utility and drainage easements. Retaining walls in front yards will be reviewed on a case-by-case basis. Refer to **Section 4.7.7** for acceptable materials.

4.7.6 RETAINING WALL HEIGHT AND SETBACK

Retaining walls shall not exceed 4 feet in height. Grade changes requiring walls in excess of this height, shall be terraced. Terraced walls will require a minimum separation of 3 feet and include landscaping as a screen between these walls. Refer to **Exhibit 4-H**.

Walls must be setback a minimum of 4 feet from street R.O.W. or property line or 2 feet from the back of a sidewalk, whichever is greater. Retaining walls located along a side yard lot-line may not exceed 3 feet in height within the front yard setback and must terminate a minimum of 5 feet from the front property line.

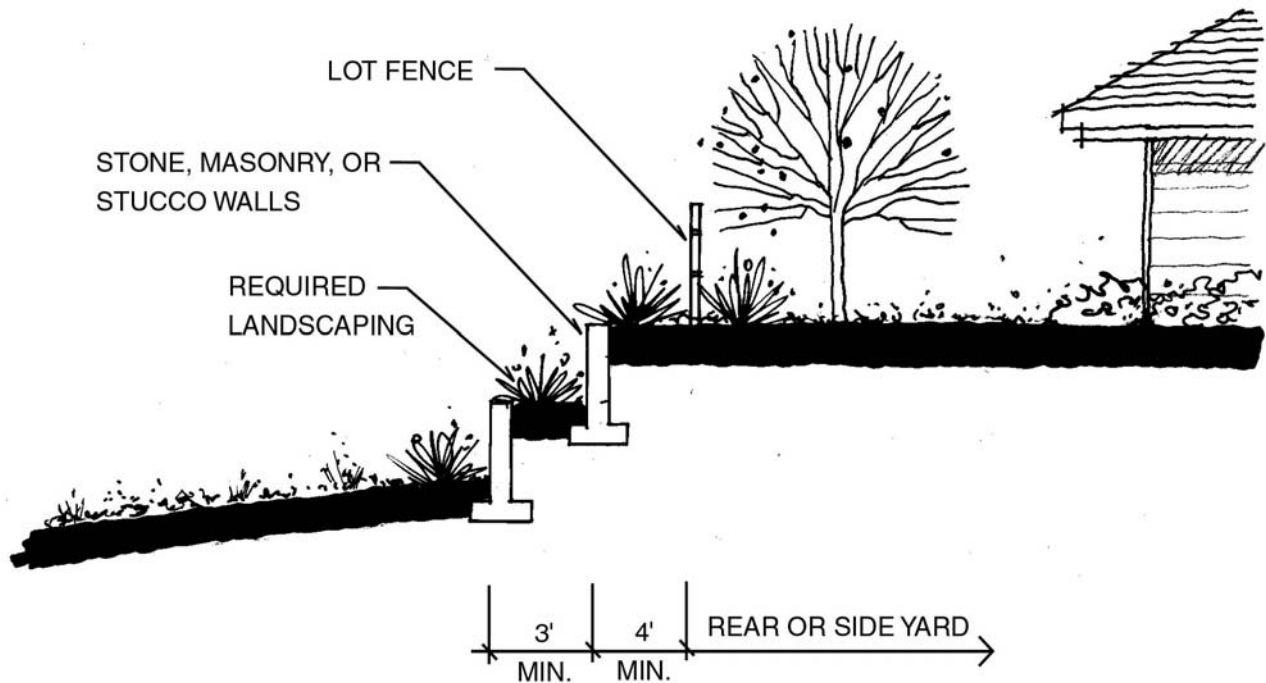
Appropriate landscaping is required for screening the retaining wall with shrubs. Refer to **Section 4.3.7** for additional landscape requirements.

4.7.7 RETAINING WALL MATERIALS

Acceptable materials for retaining walls visible from the street, common areas or the golf course include: natural stone, manufactured stone, decorative masonry block, brick and stucco. High quality wood timbers will be reviewed on a case-by-case basis. Railroad ties are not permitted.

4.7.8 WATERPROOFING AND DRAINAGE

All concrete-backed retaining walls must be waterproofed. Walls must also be adequately drained (as necessary) on the uphill or surcharge side.



TYPICAL RETAINING WALL

RETAINING WALLS

EXHIBIT 4-H

4.8 LIGHTING

4.8.1 STREET LIGHTING

Street lighting will utilize the city street light standards for all village roadways and local streets within Pine Creek. This standard fixture is provided and installed by the City of Colorado Springs Utility Department. Upgraded or custom street light standard may be provided, however, will require a neighborhood association to maintain. All such lighting designs will be reviewed and approved by the ARB on a case-by-case basis, prior to discussions with the City.

4.8.2 RESIDENTIAL YARD LIGHTING

In order to provide a unified theme in Pine Creek, a pre-selected yard light design is required in all residential front yards in Pine Creek. The light is QUOIZEL "Oxford" model OX9066BA, Royal Ebony Black or OX9066J, Tuscany Brown with matching pole and light sensor. Neighborhoods must use one color throughout for consistency. Information on the light and dealer location is available from the PCVA.

- a. Builders are required to install the required yard light before occupancy of the home.
- b. The yard light is to be placed approximately 4 feet behind the street sidewalk on the front door side of the driveway. Locations on flag lots or homes with side-entry garages will be reviewed by the ARB on a case-by-case basis.
- c. Mounting height shall be 7' to the top of the fixture.
- d. The light must be maintained in like-new condition and repaired promptly with identical parts by the homeowner. A 100-watt, white incandescent bulb is required for all yard lights in Pine Creek for consistency. No other color or wattage is allowed.
- e. The light operates on a photocell and may not be turned off during operational hours (dusk to dawn).

4.8.3 LANDSCAPE LIGHTING

The use of landscape up-lighting and down-lighting is encouraged. Lighting that causes glare or discomfort, or disrupts the visual environment of neighboring units is not permitted. Low bollards and step lights are appropriate to provide point to point illumination of pedestrian paths within a multi-family project. All lighting must be approved by the ARB.

Fixtures shall be constructed and mounted to withstand and discourage abuse. Above ground plastic housings and connections are prohibited.

Colored lights other than seasonal decorative lights installed from November 15 to January 15 are prohibited.

4.8.4 EXTERIOR AND SECURITY LIGHTING

Site and security lighting systems shall be designed and installed in a manner that promotes the safety of pedestrian and vehicular movement. Area illumination must be provided for parking areas, entry areas, walkways, and other people gathering areas.

Lighting for larger recreational areas and parking lots must provide light fixtures, which conceal the light source and prevent light spillage onto adjacent parcels. Floodlights shall be designed to avoid spilling onto adjacent residences.

Concealed light sources such as wall scones, recessed lighting, soffit lighting and directional lighting are preferred. Exposed bulbs (not within a fixture) are prohibited.

4.9 STREETScape FURNISHINGS

4.9.1 SITE FURNITURE

All site furniture including benches, trash receptacles and bike racks used in common areas should be made of a high quality metal and should be similar to the village view fence color. The location and design of site furniture must be approved by the ARB.

4.9.2 MAILBOXES

Mailboxes within each parcel shall consist of “grouped” mailbox units provided by the U.S. Postal Service. The postal service will provide and maintain the standard mailbox units.

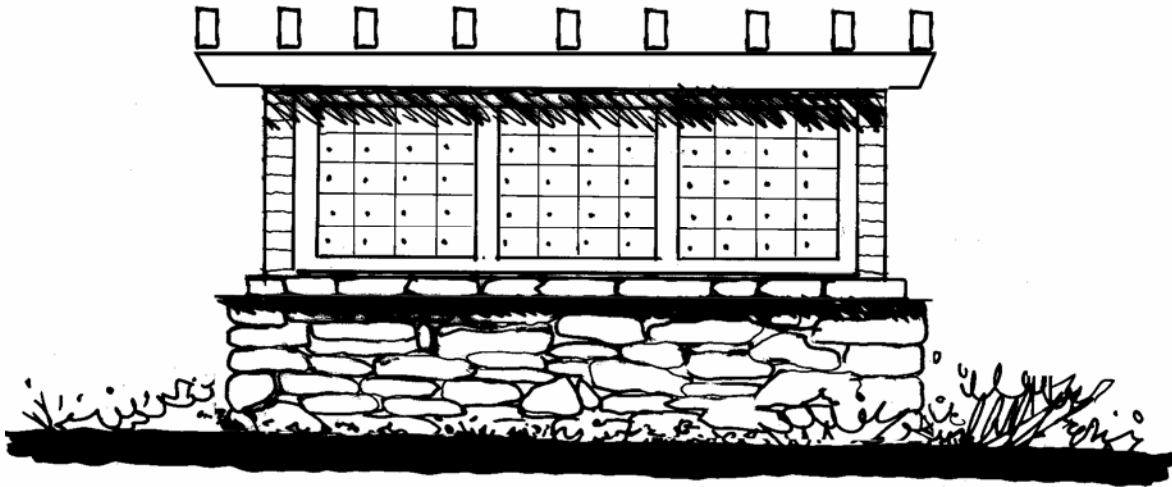
Customized enclosures or large kiosk structures will be designed to house the standard mailbox units. Refer to **Exhibit 4-I**.

The locations of group mailbox units will be jointly determined by the local Postmaster and the Master Developer. Siting of group units shall be sensitive to adjacent homes, site visibility and accessibility. Some potential locations include landscape islands in parking courts and cul-de-sacs, as well as common areas adjacent to the street.

4.9.3 TRASH ENCLOSURES

Trash enclosures, where used, shall be centrally located to the residential units they serve, yet inconspicuous and easily maintained. Preferred locations include the ends of parking courts, along interior secondary access routes, and private drives and away from building entrances.

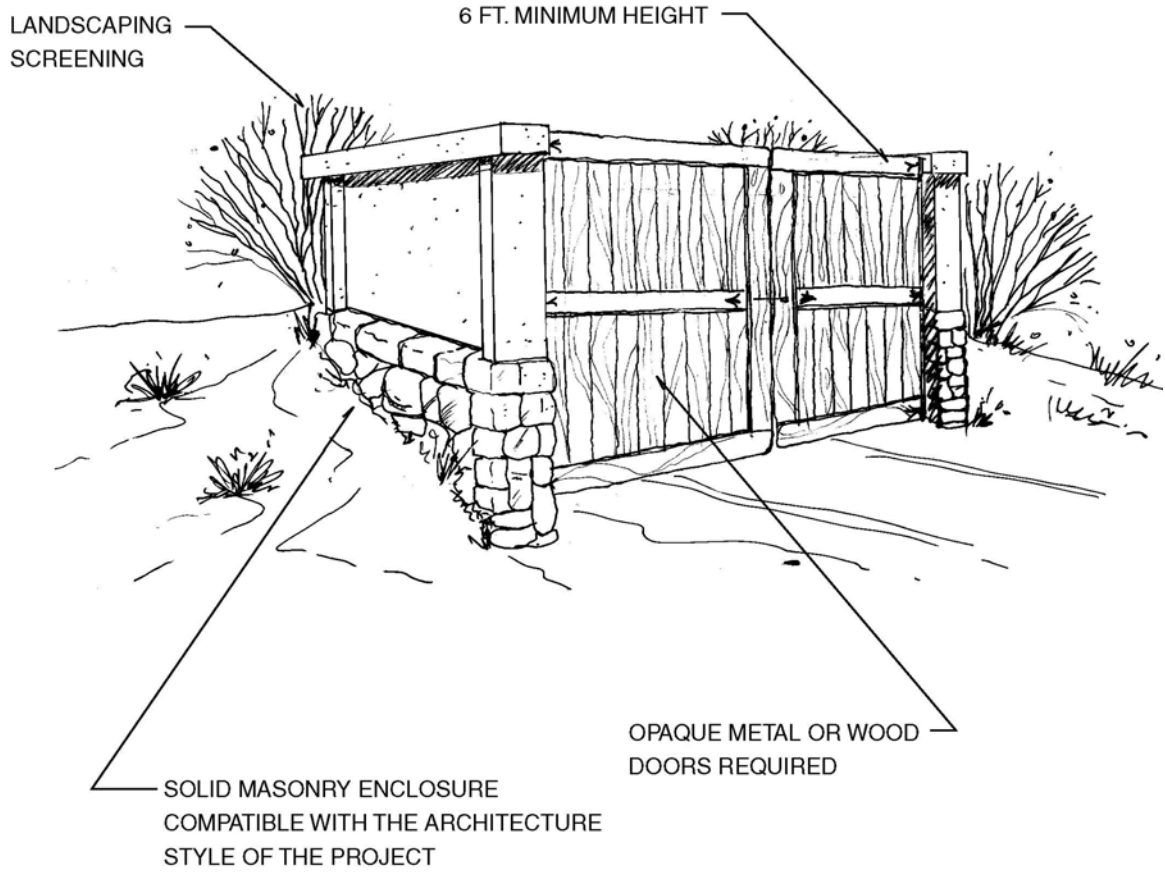
Enclosures shall be constructed of 6-foot high solid masonry walls compatible with the architecture style of the project and softened with landscaping. All enclosures shall have an opaque metal or wood gate. Refer to **Exhibit 4-J**.



TYPICAL GROUP MAILBOX KIOSK

MAILBOX ENCLOSURES

EXHIBIT 4-I



TRASH ENCLOSURES

EXHIBIT 4-J

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5. Master Signage

5.1 MASTER SIGNAGE PROGRAM

5.1.1 INTRODUCTION

The Master Signage Program has been created to enhance and maintain Pine Creek's image, but more importantly, enable visitors easy recognition and identification as they move throughout the project. The Master Signage Program addresses two areas: temporary or marketing signs and permanent signage.

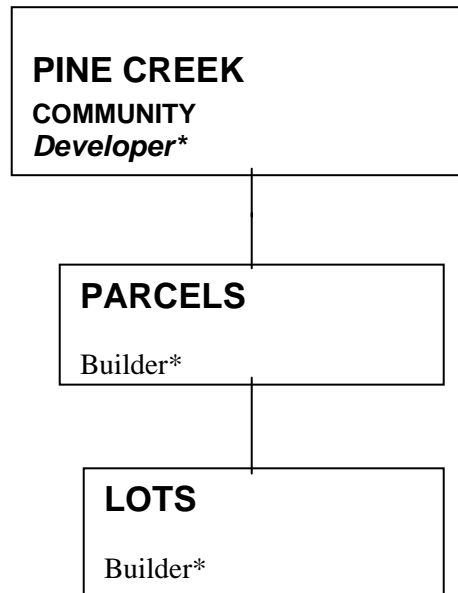
5.1.2 PURPOSE AND INTENT

The purpose of the Master Signage Program is to establish standard criteria for the uniform design and regulation of signage within Pine Creek. This document is intended to create signage that is aesthetically pleasing and consistent with the architectural and landscape themes created for Pine Creek. In many cases, the criteria are more restrictive than the City of Colorado Springs Zoning Code. **These criteria supersede the City of Colorado Springs Zoning Code.** These standards apply only to development located within Pine Creek. The Master Signage criteria are designed to:

- Assure that signs are compatible with the character of the Pine Creek community.
- Improve the appearance of Pine Creek as a place to live, work, do business and visit.
- Provide a reasonable system for sign control based on a comprehensive plan of sign standards developed specifically for Pine Creek.
- Establish and encourage a balanced character which has a minimum of visual clutter.
- Enhance the economic value of Pine Creek and each parcel/neighborhood and lot through the regulation of signage.
- Protect the public and private investment in buildings and open space.
- Attract and direct persons to various locations in order to provide for maximum public convenience.
- Reduce possible traffic and safety hazards to motorists and pedestrians through sound signing practices.

5.1.3 COMPONENTS OF THE MASTER SIGNAGE PROGRAM

The Master Signage Program consists of a hierarchy of three components:



a. Pine Creek Community

The Master Plan separates Pine Creek into Planning Areas for distribution of product density, phasing, and simplification of government processing procedures.

b. Parcels

The Community is divided into parcels for residential and non-residential uses.

c. Lots

Parcels may be subdivided into individual lots for construction of residential or non-residential structures.

*Indicates party responsible for signage application, fabrication, and maintenance.

5.2 COMMUNITY SIGNAGE IMPLEMENTED BY DEVELOPER

Community Signage identifies Pine Creek at the primary entrances, directing visitors once inside the Community and announcing upcoming events. These signs tend to be located along the major roadways and are implemented by the Master Developer (MD).

Community Signage is comprised of two basic categories: Identification and Marketing/Event Signage.

Community Identification Signage identifies the primary entries into Pine Creek and consists of:

- Entry Monuments (Permanent)
- Community Directional Sign (Temporary)

Marketing/Event Signage alerts the public to upcoming community events or Pine Creek marketing themes. This category of sign consists of:

- Marketing Sign (Temporary)
- Major Event Banner (Temporary)
- Event Directional (Temporary)

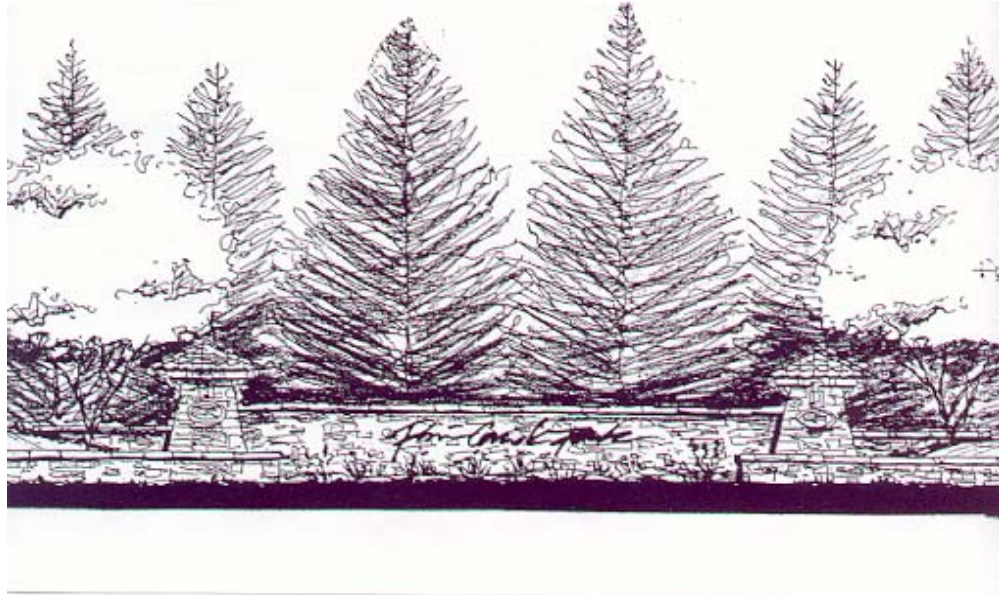
The following pages contain the Community Signage Matrix and Criteria. The Matrix gives a brief description of each sign type and its primary measurements. The Criteria provide more in-depth information about each sign including a schematic illustration. This illustration is shown to provide the basic maximum sizing guidelines, but not necessarily how the completed sign will look.

5.2.1 COMMUNITY SIGNAGE MATRIX

SIGN NAME	FUNCTION	MAX QTY.	MAX HT.	MAX WTH.	MAX AREA EA.	ILLUM.	LIFE	APPROVAL
Entry Monument	Identifies Pine Creek at primary entries	One	7'	40'	100 s.f.	G	Perm	ARB/CMO
Community Directional Sign	Identifies major roadways	Varies	8'	8'	64 s.f.	G or N	Temp	CMO
Marketing Sign	Displays community information to traffic along major roadways	R	8'	4'	64 s.f.	G or N	Temp	CMO
Major Event Banner	Displays event information at entries to community	One per entry	4'	30'	120 s.f.	N	Temp	CMO
Event Directional	Directs event traffic to appropriate site or parking area	R	3'	3'	9 s.f.	N	Temp	CMO

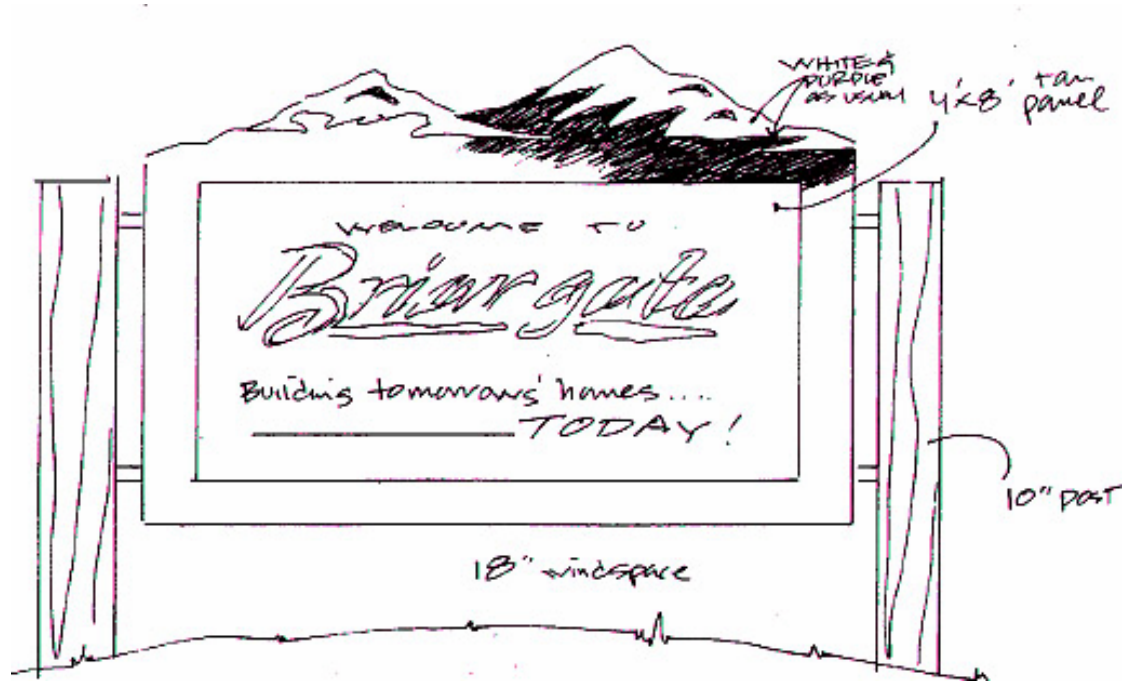
- R - As required
- G - Ground Illumination
- I - Internal Illumination
- N - Non-Illuminated

5.2.2 ENTRY MONUMENT



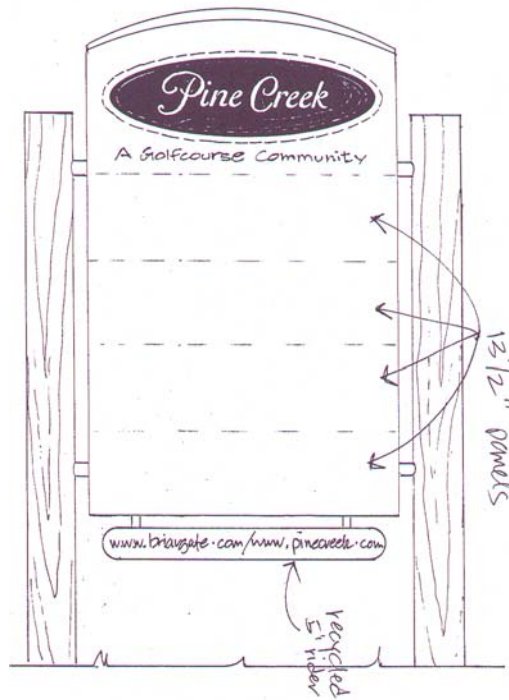
FORMAT:	SIGN TYPE:	Freestanding
	LIFE SPAN:	Permanent
	FORMAT DESIGN BY:	Master Developer
	GRAPHIC DESIGN BY:	Master Developer
	INFORMATION ALLOWED:	Pine Creek Name
	FABRICATED BY:	Varies
	MAINTAINED BY:	PCVA
	MAXIMUM QUANTITY:	One Single or Double Sided per Entry
	LOCATION:	Primary Entry into Community
	DESIGN APPROVAL BY:	ARB/CMO
PERMIT REQUIRED BY:	City of Colorado Springs	
SIZE:	MAX WALL HEIGHT:	12'
	MAX WALL WIDTH:	40'
	MAX LETTER HEIGHT:	24"
	MAX AREA:	100 square feet
MATERIALS:	WALL MATERIALS:	Specified by Master Developer
	SIGN FACE MATERIALS:	Specified by Master Developer
	WALL COLORS:	Specified by Master Developer
	SIGN FACE COLORS:	Specified by Master Developer
	ILLUMINATION:	Specified by Master Developer

5.2.3 COMMUNITY DIRECTIONAL SIGN



FORMAT:	SIGN TYPE:	Freestanding
	LIFE SPAN:	Temporary
	FORMAT DESIGN BY:	Master Developer
	GRAPHIC DESIGN BY:	Master Developer
	INFORMATION ALLOWED:	Name of Community
	FABRICATED BY:	Varies
	MAINTAINED BY:	Co-op
	MAXIMUM QUANTITY:	One Single or Double Sided per Entry
	LOCATION:	In Median at Primary Entry into Community
	DESIGN APPROVAL BY:	CMO
PERMIT REQUIRED BY:	City of Colorado Springs	
SIZE:	MAX SIGN HEIGHT:	8'
	MAX SIGN WIDTH:	8'
	MAX LETTER HEIGHT:	12"
	MAX AREA:	64 square feet
MATERIALS:	SIGN MATERIALS:	Specified by Master Developer
	SIGN FACE MATERIALS:	Specified by Master Developer
	SIGN COLORS:	Specified by Master Developer
	ILLUMINATION:	Specified by Master Developer

5.2.4 COMMUNITY MARKETING SIGN



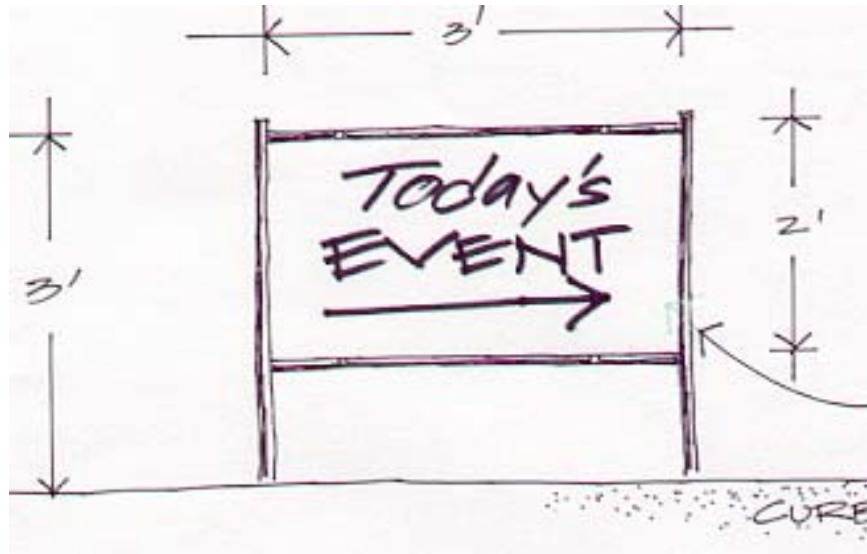
FORMAT:	SIGN TYPE:	Freestanding
	LIFE SPAN:	Temporary
	FORMAT DESIGN BY:	CMO
	GRAPHIC DESIGN BY:	Varies
	INFORMATION ALLOWED:	Pine Creek Logo and Marketing Information About Community
	FABRICATED BY:	Varies
	MAINTAINED BY:	Co-op
	MAXIMUM QUANTITY:	Single or Double Sided as Required
	LOCATION:	On-Site or Off-Site at Primary Entries into Community
	DESIGN APPROVAL BY:	CMO
PERMIT REQUIRED BY:	City of Colorado Springs	
SIZE:	MAX SIGN HEIGHT:	8'
	MAX SIGN WIDTH:	8'
	MAX LETTER HEIGHT:	5"
	MAX AREA:	64 square feet
MATERIALS:	SIGN FACE MATERIALS:	Specified by Master Developer
	SIGN FACE COLORS:	Specified by Master Developer
	ILLUMINATION:	Specified by Master Developer

5.2.5 MAJOR EVENT BANNER



FORMAT:	<p>SIGN TYPE: Freestanding</p> <p>LIFE SPAN: Temporary</p> <p>FORMAT DESIGN BY: Master Developer</p> <p>GRAPHIC DESIGN BY: Master Developer</p> <p>INFORMATION ALLOWED: Pine Creek Logo and Event Information</p> <p>FABRICATED BY: Varies</p> <p>MAINTAINED BY: Co-op</p> <p>MAXIMUM QUANTITY: One Single Sided per Entry</p> <p>LOCATION: Primary Entry Into Community/Or Site of Event</p> <p>DESIGN APPROVAL BY: CMO</p> <p>PERMIT REQUIRED BY: City of Colorado Springs</p>
SIZE:	<p>MAX HEIGHT: 4'</p> <p>MAX WIDTH: 30'</p> <p>MAX LETTER HEIGHT: 24"</p> <p>MAX AREA: 120 square feet</p>
MATERIALS:	<p>WALL MATERIALS: Specified by Master Developer</p> <p>SIGN FACE MATERIALS: Specified by Master Developer</p> <p>WALL COLORS: Specified by Master Developer</p> <p>SIGN FACE COLORS: Specified by Master Developer</p>

5.2.6 EVENT DIRECTIONAL



FORMAT:	SIGN TYPE:	Freestanding
	LIFE SPAN:	Temporary*
	FORMAT DESIGN BY:	Master Developer
	GRAPHIC DESIGN BY:	Master Developer
	INFORMATION ALLOWED:	Pine Creek Logo and Event Directional Information
	FABRICATED BY:	Master Developer
	MAINTAINED BY:	Co-op
	MAXIMUM QUANTITY:	Single Sided as Required
LOCATION:	Along Arterial Roadways	
DESIGN APPROVAL BY:	CMO	
PERMIT REQUIRED BY:	City of Colorado Springs	

SIZE:	MAX MOUNTING HEIGHT:	3'
	MAX SIGN FACE HEIGHT:	2'
	MAX SIGN FACE WIDTH:	3'
	MAX LETTER HEIGHT:	6"
	MAX AREA:	9 square feet

MATERIALS:	SIGN FACE MATERIALS:	Specified by Master Developer
	SIGN FACE COLORS:	Specified by Master Developer

ADDITIONAL CONSIDERATIONS *May be installed one week prior to event and must be removed one day after event ends.

5.2.7 NEIGHBORHOOD SIGNAGE

Neighborhood signage identifies the entrances and boundaries of each neighborhood, directs the public to projects within the neighborhoods and announces future developments. Neighborhood signage is intended to have an internally consistent design theme which is comprised of a family of signage types. These signs are generally implemented by the Master Developer.

Neighborhood Signage is comprised of two basic categories – Identification and Marketing Signage.

Neighborhood Identification identifies the primary neighborhood entrances and corners at the outside boundaries of each neighborhood. It is comprised of the following sign type:

- Neighborhood Identification (Permanent)

Neighborhood Marketing Signage identifies future Parcel use. This category of sign consists of:

- Neighborhood Marketing Sign (Temporary)
- Future Development Sign (Temporary)
- Parcel Marker (Temporary)

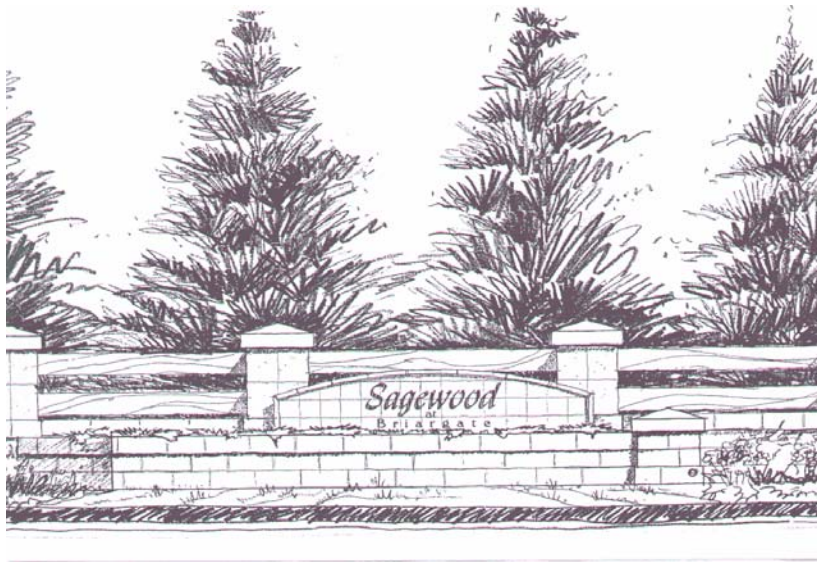
The following pages contain the Neighborhood Signage Matrix and Criteria. The Matrix gives a brief description of each sign type and its primary measurements. The Criteria provide more in-depth information about each sign including a schematic illustration. This illustration is shown to provide basic maximum sizing guidelines, but not necessarily how the completed sign will look.

5.2.8 NEIGHBORHOOD SIGNAGE MATRIX

SIGN NAME	FUNCTION	MAX QTY.	MAX HT.	MAX WTH	MAX AREA EA.	ILLUM	LIFE	APPROVAL
Neighborhood Identification	Identifies neighborhood at primary entries and corners	R	12'	18'	216 s.f.	G or I	Perm	ARB/CMO
Neighborhood Marketing Sign	Identifies neighborhood and builder within the neighborhood	One per entry	32"	24"	6 s.f.	N	Temp	ARB/CMO
Future Development Sign	Identifies land use or future development on a parcel	3	8'	4'	32 s.f.	N	Temp	ARB/CMO
Parcel Marker	Identifies parcel name or designation	3	8'	4'	32 s.f.	N	Temp	ARB/CMO

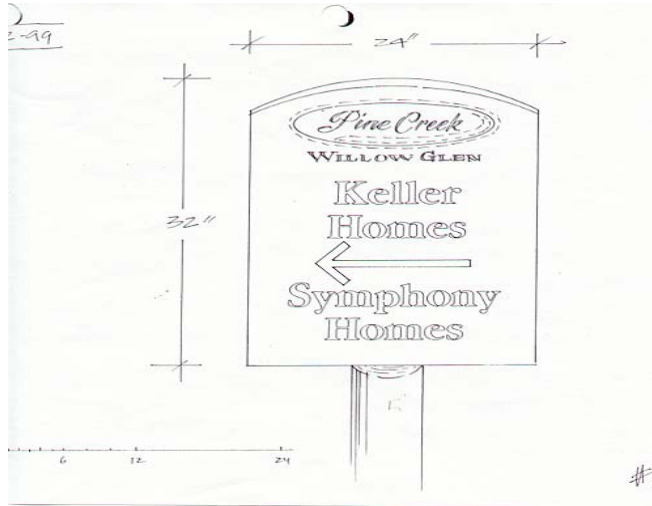
- R - As required
- G - Ground Illumination
- I - Internal Illumination
- N - Non-Illuminated

5.2.9 NEIGHBORHOOD IDENTIFICATION



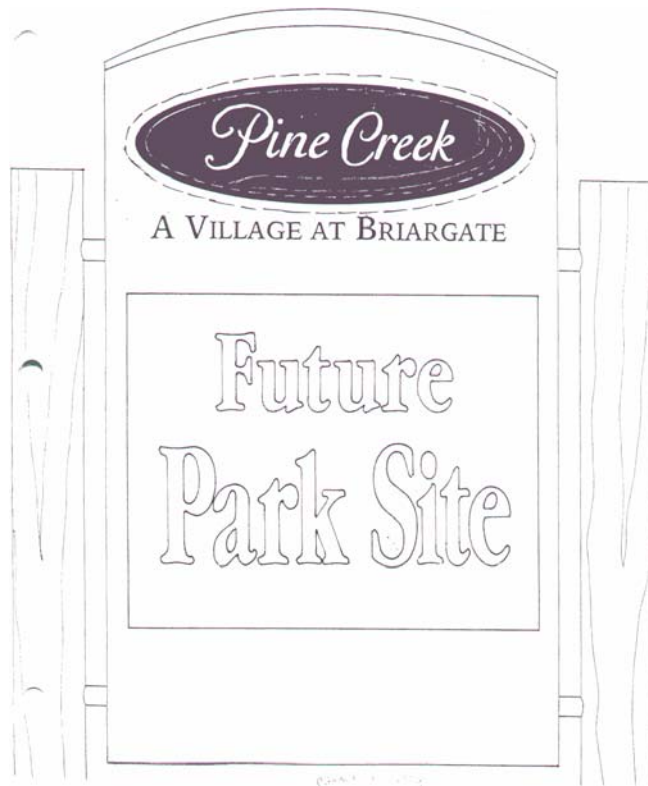
FORMAT:	<p>SIGN TYPE: Individual Letters Mounted to Perimeter Wall</p> <p>LIFE SPAN: Permanent</p> <p>FORMAT DESIGN BY: Master Developer</p> <p>GRAPHIC DESIGN BY: Master Developer</p> <p>INFORMATION ALLOWED: Name of Neighborhood</p> <p>FABRICATED BY: Master Developer</p> <p>MAINTAINED BY: PCVA</p> <p>MAXIMUM QUANTITY: Single Sided as Required to Identify Neighborhood</p> <p>LOCATION: At Primary Entries and Corners of Neighborhood</p> <p>DESIGN APPROVAL BY: ARB/CMO</p> <p>PERMIT REQUIRED BY: City of Colorado Springs</p>
SIZE:	<p>MAX WALL HEIGHT: 12'</p> <p>MAX WALL WIDTH: Varies</p> <p>MAX LETTER HEIGHT: 24"</p> <p>MAX SIGN FACE WIDTH: 18'</p> <p>MAX AREA: 30 square feet per sign</p>
MATERIALS:	<p>WALL MATERIALS: Specified by Master Developer</p> <p>SIGN FACE MATERIALS: Specified by Master Developer</p> <p>WALL COLORS: Specified by Master Developer</p> <p>SIGN FACE COLORS: Specified by Master Developer</p> <p>ILLUMINATION: Specified by Master Developer</p>

5.2.10 NEIGHBORHOOD MARKETING SIGN



FORMAT:	SIGN TYPE:	Freestanding
	LIFE SPAN:	Temporary
	FORMAT DESIGN BY:	Master Developer
	GRAPHIC DESIGN BY:	Master Developer
	INFORMATION ALLOWED:	Pine Creek Logo and Neighborhood Names
	FABRICATED BY:	Master Developer
	MAINTAINED BY:	Co-op
SIZE:	MAXIMUM QUANTITY:	One Single Sided Sign Per Entry
	LOCATION:	At Primary Entries Into Neighborhood
	DESIGN APPROVAL BY:	ARB/CMO
	PERMIT REQUIRED BY:	City of Colorado Springs
	MAX SIGN HEIGHT:	32"
MATERIALS:	MAX SIGN WIDTH:	24"
	MAX LETTER HEIGHT:	5"
	MAX AREA:	6 square feet
	SIGN FACE MATERIALS:	Specified by Master Developer
SIGN FACE COLORS:	Specified by Master Developer	
ILLUMINATION:	Specified by Master Developer	

5.2.11 FUTURE DEVELOPMENT SIGN



FORMAT:	SIGN TYPE:	Freestanding – Single or Double Sided
	LIFE SPAN:	Temporary*
	FORMAT DESIGN BY:	Master Developer
	GRAPHIC DESIGN BY:	Master Developer
	INFORMATION ALLOWED:	Neighborhood Logo, Amenity Name and Other Pertinent Information
	FABRICATED BY:	Master Developer
	MAINTAINED BY:	Co-op
	MAXIMUM QUANTITY:	Three (3) Per Parcel**
	LOCATION:	On-Site
	DESIGN APPROVAL BY:	ARB/ARB
PERMIT REQUIRED BY:	City of Colorado Springs	
SIZE:	MAX SIGN HEIGHT:	8'
	MAX SIGN WIDTH:	4'
	MAX LETTER HEIGHT:	18"
	MAX AREA:	32 square feet
MATERIALS:	SIGN FACE MATERIALS:	Specified by Master Developer
	SIGN FACE COLORS:	Specified by Master Developer
	ILLUMINATION:	Not Allowed

ADDITIONAL CONSIDERATIONS: *Must be removed no later than 14 days after sale of property.
 **Depends on acreage of parcel (See City Zoning Code)

5.2.12 PARCEL MARKER



FORMAT:	SIGN TYPE:	Freestanding
	LIFE SPAN:	Temporary*
	FORMAT DESIGN BY:	Master Developer
	GRAPHIC DESIGN BY:	Master Developer
	INFORMATION ALLOWED:	Neighborhood Logo and Project/Parcel Designations
	FABRICATED BY:	Master Developer
	MAINTAINED BY:	Co-op
	MAXIMUM QUANTITY:	Three (3) Single Sided Signs Per Parcel**
	LOCATION:	On-Site Along Street Fronts
	DESIGN APPROVAL BY:	ARB/ARB
PERMIT REQUIRED BY:	City of Colorado Springs	

SIZE:	MAX SIGN HEIGHT:	8'
	MAX SIGN WIDTH:	4'
	MAX LETTER HEIGHT:	18"
	MAX AREA:	32 square feet

MATERIALS:	SIGN FACE MATERIALS:	Specified by Master Developer
	SIGN FACE COLORS:	Specified by Master Developer
	ILLUMINATION:	Specified by Master Developer

ADDITIONAL CONSIDERATIONS: * Must be removed no later than 14 days after sale of property.
 **Depends on acreage of parcel (see City Zoning Code)

5.3 SINGLE FAMILY RESIDENTIAL PARCEL SIGNAGE IMPLEMENTED BY BUILDER

Signage for this type of development, implemented by the builder, provides permanent identification for the project and temporary signage for the marketing and sale of homes.

Permanent Signage identifies addresses of the individual residences in a consistent manner. The following sign types are included:

- Address Numbers

Temporary Signage provides marketing and directional information to visitors. All such signs are removed upon closeout. This category of signs includes:

- Major Marketing Signs (2 types)
- Future Model Site Sign
- Model Complex Identity
- Model Identity (2 types)
- Model Center Parking Directionals
- Development/Construction Sign
- Construction Directional and Restrictions
- Sales Office Portable Directional

The following pages contain the Single Family Residential Parcel Matrix and Criteria. The Matrix gives a brief description of each sign type and its primary measurements. The Criteria provide more in depth information about each sign including a schematic illustration. This illustration is shown to provide basic maximum sizing guidelines, but not necessarily how the completed sign will look.

Submittal and Approval Process

All signage will require a letter of authorization from the CMO/ARB prior to installation. Signage submittals to the CMO/ARB must be completed as a part of the individual parcel design review process and must include diagrams and specifications. Approval by the CMO/ARB shall not be deemed as approval by the City of Colorado Springs, nor shall it imply that the submitted designs are in compliance with City codes and ordinances.

Fines

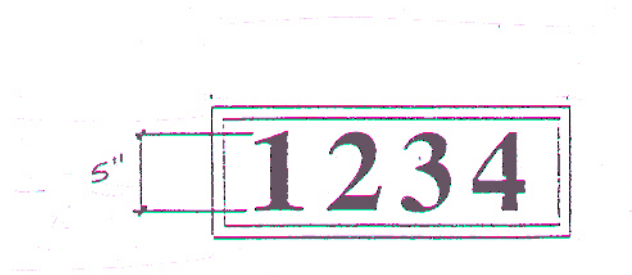
If the guidelines are not followed, the developer reserves the right to impose fines. The first violation will result in a written warning, the second violation will result in a fine being assessed, and the third violation may result in dissolution of the contract between Builder and Master Developer. Additionally, the Master Developer reserves the right to collect for any costs incurred during enforcement of these guidelines.

5.3.1 SINGLE FAMILY RESIDENTIAL PARCEL SIGNAGE MATRIX

SIGN NAME	FUNCTION	MAX QTY.	MAX HT.	MAX WTH.	MAX AREA EA.	ILLUM	LIFE	APPROVAL
Address Numbers	Identifies individual residences	One	6"	2"	2 s.f.	N	Perm	ARB
Major Marketing Sign	Identifies project, developer and other information to vehicular traffic	One	8'	4'	32 s.f.	N	Temp	CMO
Future Model Site Sign	Identifies future model location	One	30'	42'	9 s.f.	N	Temp	CMO
Model Complex	Identifies model complex by name	One per Site	6'	8'	32 s.f.	G	Temp	CMO
Model	Identifies model by name or number	One per Model	18"	24"	6 s.f.	N	Temp	CMO
Model Center Parking Directional	Directs public to parking area	Two	3'	4'	12 s.f.	N	Temp	CMO
Development/Construction Sign	Identifies project, developer and other information to vehicular traffic	One	8'	12'	32 s.f.	N	Temp	CMO
Construction Directional & Restrictions	Directs and informs construction traffic at appropriate entries	R	6'	8'	48 s.f.	N	Temp	CMO

- R - As required
- G - Ground Illumination
- I - Internal Illumination
- N - Non-Illuminated

5.3.2 RESIDENTIAL ADDRESS NUMBERS



FORMAT:	SIGN TYPE:	Wall Mounted
	LIFE SPAN:	Permanent
	FORMAT DESIGN BY:	Parcel Developer (PD)*
	GRAPHIC DESIGN BY:	PD
	INFORMATION ALLOWED:	Address Numbers
	FABRICATED BY:	PD
	MAINTAINED BY:	Homeowner
	MAXIMUM QUANTITY:	One (1) Set
	LOCATION:	On Residence, Selected by PD
	DESIGN APPROVAL BY:	ARB
	PERMIT REQUIRED BY:	None Required

SIZE:	MIN LETTER HEIGHT:	5"
	MAX LETTER HEIGHT:	6"

MATERIALS:	MATERIALS:	Specified by PD
	FACE COLORS:	Specified by PD

ADDITIONAL CONSIDERATIONS: *All Address signs within a project to be the same.

5.3.3 MAJOR MARKETING SIGN



FORMAT: SIGN TYPE: Freestanding
 LIFE SPAN: Temporary*
 FORMAT DESIGN BY: Master Developer**
 GRAPHIC DESIGN BY: Parcel Developer (PD)
 INFORMATION ALLOWED: Pine Creek Logo & Name of Project, Builder, Builder Logo, Price Range and Phone Number
 FABRICATED BY: PD
 MAINTAINED BY: PD
 MAXIMUM QUANTITY: One ***
 LOCATION: At Primary Entry Into Subdivision
 DESIGN APPROVAL BY: CMO
 PERMIT REQUIRED BY: City of Colorado Springs

SIZE: MAX HEIGHT: 8'
 MAX WIDTH: 4'
 MAX SIGN AREA: 32 square feet per sign

MATERIALS: BASE MATERIALS: Specified by Master Developer
 SIGN FACE MATERIALS: Wood or Metal
 BASE COLORS: Specified by Master Developer
 SIGN FACE COLORS: Selected by PD from Standards by Master Developer
 ILLUMINATION: Ground

ADDITIONAL CONSIDERATIONS: * Must be removed at project close out
 *Sign to appear monolithic with enclosed base, sides and top
 ***A second sign may be allowed by The Master Developer on certain parcels.
 "Riders" are allowed only as part of the main sign background and must not project beyond its boundaries.

5.3.4

FUTURE MODEL SITE SIGN



FORMAT: SIGN TYPE: Freestanding
 LIFE SPAN: Temporary *
 FORMAT DESIGN BY: Parcel Developer (PD)
 GRAPHIC DESIGN BY: PD
 INFORMATION ALLOWED: Name of Builder, Builder's Phone Number, Logo
 FABRICATED BY: D
 MAINTAINED BY: PD
 MAXIMUM QUANTITY: One per Model
 DESIGN APPROVAL BY: CMO
 PERMIT REQUIRED BY: City of Colorado Springs

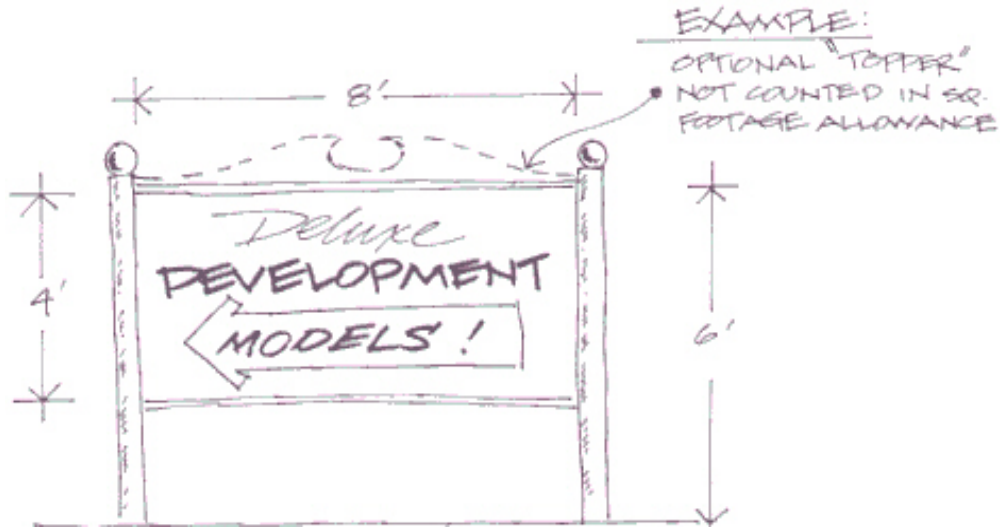
SIZE: MAX HEIGHT: 30"
 MAX WIDTH: 42"
 MAX SIGN AREA: 9 square feet per sign

MATERIALS: SIGN MATERIALS: Selected by PD**
 SIGN FACE COLORS: Selected by PD**
 ILLUMINATION: Not Allowed

ADDITIONAL CONSIDERATIONS: *Must be removed at opening of model.
 *Must coordinate with all other marketing signs for specific parcel development.

5.3.5

MODEL COMPLEX IDENTIFICATION



FORMAT:	SIGN TYPE:	Freestanding
	LIFE SPAN:	Temporary *
	FORMAT DESIGN BY:	Parcel Developer (PD)
	GRAPHIC DESIGN BY:	PD
	INFORMATION ALLOWED:	Name of Model Complex, Builder's Phone Number
	FABRICATED BY:	PD
	MAINTAINED BY:	PD
	MAXIMUM QUANTITY:	One per Model Complex
	LOCATION:	At Primary Entry Into Model Complex
	DESIGN APPROVAL BY:	CMO
	PERMIT REQUIRED BY:	City of Colorado Springs

SIZE:	MAX HEIGHT:	6'
	MAX WIDTH:	8'
	MAX SIGN AREA:	32 square feet per sign

MATERIALS:	SIGN MATERIALS:	Selected by PD**
	SIGN FACE COLORS:	Selected by PD**
	ILLUMINATION:	Ground

ADDITIONAL CONSIDERATIONS: *Must be removed at close of Model Sales Office
 *Must coordinate with all other marketing signs for specific parcel development.

5.3.6

MODEL IDENTIFICATION



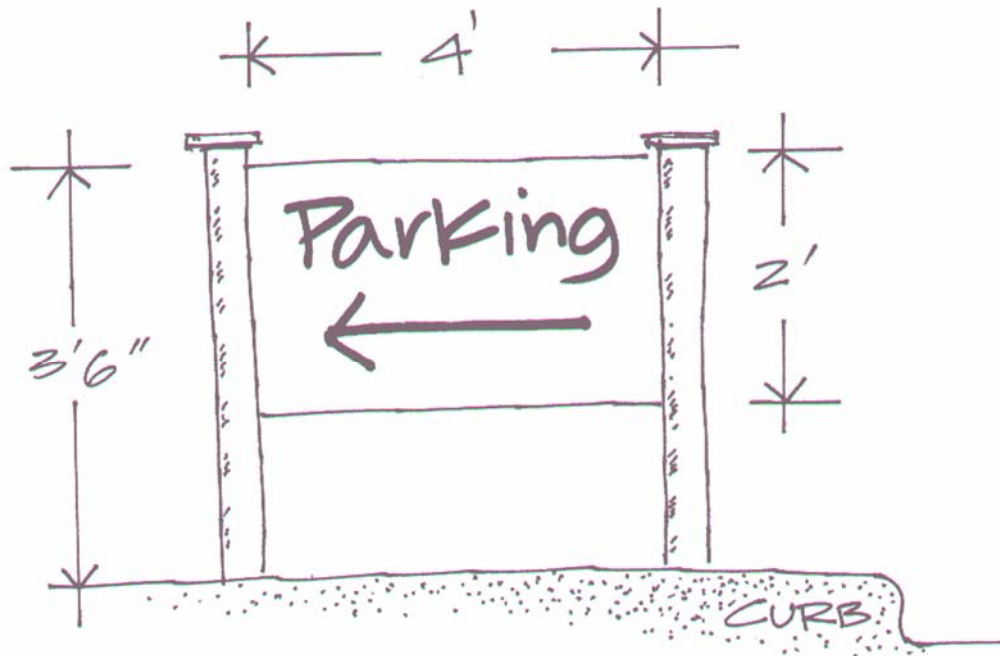
FORMAT:	SIGN TYPE:	Freestanding
	LIFE SPAN:	Temporary *
	FORMAT DESIGN BY:	Parcel Developer (PD)**
	GRAPHIC DESIGN BY:	PD
	INFORMATION ALLOWED:	Name of Model or Plan Designation
	FABRICATED BY:	PD
	MAINTAINED BY:	PD
	MAXIMUM QUANTITY:	One per Model
	LOCATION:	At Primary Entry Into Model
	DESIGN APPROVAL BY:	CMO
PERMIT REQUIRED BY:	City of Colorado Springs	

SIZE:	MAX HEIGHT:	30"
	MAX WIDTH:	42"
	MAX SIGN AREA:	9 square feet per sign

MATERIALS:	SIGN MATERIALS:	Selected by PD**
	SIGN FACE COLORS:	Selected by PD**
	ILLUMINATION:	Not Allowed

ADDITIONAL CONSIDERATIONS: *Must be removed at close of Model Sales Office.
**Must coordinate with all other marketing signs for specific parcel development.

5.3.7 MODEL CENTER PARKING DIRECTIONAL



FORMAT:	SIGN TYPE:	Freestanding
	LIFE SPAN:	Temporary *
	FORMAT DESIGN BY:	Parcel Developer (PD)**
	GRAPHIC DESIGN BY:	PD
	INFORMATION ALLOWED:	Name of Model Subdivision, Logo and Directions to Parking
	FABRICATED BY:	PD
	MAINTAINED BY:	PD
	MAXIMUM QUANTITY:	As Required, with a Maximum of Three (3)
	LOCATION:	On-Site at Prmiary Entry into Subdivision and Parking Area
	DESIGN APPROVAL BY:	CMO
PERMIT REQUIRED BY:	City of Colorado Springs	
SIZE:	MAX HEIGHT:	3'6"
	MAX WIDTH:	4'
	MAX SIGN AREA:	16 square feet per sign
MATERIALS:	SIGN MATERIALS:	Selected by PD**
	SIGN FACE COLORS:	Selected by PD**
	ILLUMINATION:	Ground

ADDITIONAL CONSIDERATIONS: *Must be removed at close of Model Sales Office
 **Must coordinate with all other marketing signs for specific parcel development.

5.3.8

DEVELOPMENT/CONSTRUCTION SIGN



FORMAT:

SIGN TYPE:	Freestanding
LIFE SPAN:	Temporary *
FORMAT DESIGN BY:	Master Developer
GRAPHIC DESIGN BY:	Parcel Developer (PD)
INFORMATION ALLOWED:	Name of Subdivision, Logo and Other Pertinent Information
FABRICATED BY:	PD
MAINTAINED BY:	PD
MAXIMUM QUANTITY:	One Per Neighborhood Per Builder
LOCATION:	At Primary Entry Into Model Complex
DESIGN APPROVAL BY:	CMO
PERMIT REQUIRED BY:	City of Colorado Springs

SIZE:

MAX HEIGHT:	4'
MAX WIDTH:	8'
MAX SIGN AREA:	32 square feet per sign

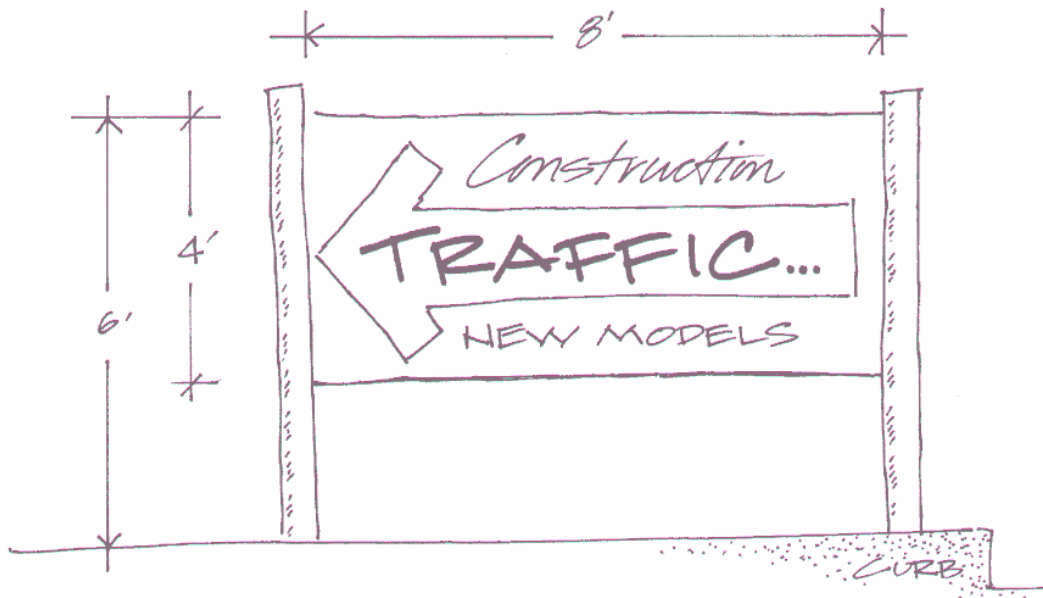
MATERIALS:

SIGN MATERIALS:	Wood or Aluminum
SIGN FACE COLORS:	Selected by PD from MD Standards**
ILLUMINATION:	Not Allowed

ADDITIONAL *Must be removed prior to erecting major marketing sign or at Close-Out, whichever comes first

CONSIDERATIONS: **Must coordinate with all other marketing signs for specific parcel development.

5.3.9 CONSTRUCTION DIRECTIONAL



FORMAT:	SIGN TYPE:	Freestanding
	LIFE SPAN:	Temporary – Removed at Close-Out
	FORMAT DESIGN BY:	Master Developer (MD)
	GRAPHIC DESIGN BY:	PD
	INFORMATION ALLOWED:	Name of Subdivision, Construction Directional Information, Job Site Rules & Regulations
	FABRICATED BY:	PD
	MAINTAINED BY:	PD
SIZE:	MAXIMUM QUANTITY:	As Needed and Approved by the CMO
	LOCATION:	On-Site
	DESIGN APPROVAL BY:	CMO
	PERMIT REQUIRED BY:	City of Colorado Springs
	MAX HEIGHT:	4'
MAX WIDTH:	8'	
MAX SIGN AREA:	32 square feet per sign	

MATERIALS:	SIGN MATERIALS:	Wood or Aluminum*
	SIGN FACE COLORS:	Selected by PD**
	ILLUMINATION:	Ground

ADDITIONAL CONSIDERATIONS: * Must coordinate with all other marketing signs for specific parcel development

5.4 CUSTOM LOT PARCEL SIGNAGE INTRODUCTION

Signage for this type of development provides temporary identification for the project for the marketing and sale of custom lots and homes.

Temporary Signage provides marketing and directional information to visitors. The following signs may be located on a lot at various times, but only one sign at a time may be installed. All such signs are removed upon closeout. This category of signs includes:

- Marketing Signs (2 types)
- Owner Signs

The following pages contain the Custom Lot Parcel Matrix and Criteria. The Matrix gives a brief description of each sign type and its primary measurements. The Criteria provide more in depth information about each sign including a schematic illustration. This illustration is shown to provide basic maximum sizing guidelines, but not necessarily how the completed sign will look.

Submittal and Approval Process

All signage will require a letter of authorization from the CMO prior to installation. Signage submittals to the CMO must be completed as a part of the individual parcel design review process and must include diagrams and specifications. Approval by the CMO/ARB shall not be deemed as approval by the City of Colorado Springs, nor shall it imply that the submitted designs are in compliance with City codes and ordinances.

Fines

If the guidelines are not followed, the developer reserves the right to impose fines. The first violation will result in a written warning, the second violation will result in a fine being assessed, and the third violation may result in dissolution of the contract between Builder and Master Developer. Additionally, the Master Developer reserves the right to collect for any costs incurred during enforcement of these guidelines.

5.4.1

CUSTOM LOT PARCEL SIGNAGE MATRIX

SIGN NAME	FUNCTION	MAX QTY.	MAX HT.	MAX WTH.	MAX AREA EA.	ILLUM	LIFE	APPROVAL
Major Marketing Sign – Type 1	Identifies project, builder and other information to vehicular traffic	One Per Neighborhood	8'	4'	32 s.f.	N	Temp	CMO
Major Marketing Sign – Type 2 Lot Sign	Identifies custom home sites available for sale to vehicular traffic	One Per Lot	18"	24"	6 s.f.	N	Temp	CMO
Owner Identity Sign	Identifies owner of lot	One per Lot	18"	24"	6 s.f.	N	Temp	CMO

R - As required
G - Ground Illumination
I - Internal Illumination
N - Non-Illuminated

5.4.2 MAJOR MARKETING SIGN – TYPE 1



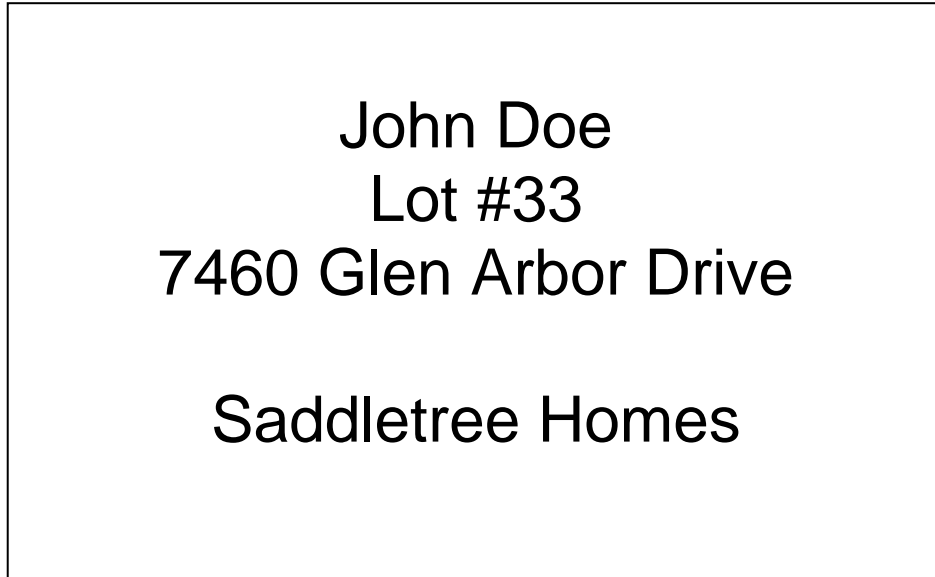
FORMAT:	<p>SIGN TYPE: Freestanding</p> <p>LIFE SPAN: Temporary</p> <p>FORMAT DESIGN BY: Master Developer</p> <p>GRAPHIC DESIGN BY: Master Developer</p> <p>INFORMATION ALLOWED: Name of PD, PD Logo, Address, Phone Number</p> <p>FABRICATED BY: Varies</p> <p>MAINTAINED BY: Co-op</p> <p>MAXIMUM QUANTITY: One Per Neighborhood</p> <p>DESIGN APPROVAL BY: CMO</p> <p>PERMIT REQUIRED BY: City of Colorado Springs</p>
SIZE:	<p>MAX HEIGHT: 8'</p> <p>MAX WIDTH: 4'</p> <p>MAX SIGN AREA: 32 square feet</p>
MATERIALS:	<p>SIGN MATERIALS: Specified by Master Developer</p> <p>SIGN FACE COLORS: Specified by Master Developer</p> <p>ILLUMINATION: None</p>

5.4.3 MAJOR MARKETING SIGN – TYPE 2 (LOT SIGN)



FORMAT:	SIGN TYPE:	Freestanding
	LIFE SPAN:	Temporary
	FORMAT DESIGN BY:	Master Developer
	GRAPHIC DESIGN BY:	PD
	INFORMATION ALLOWED:	Name of PD, PD Logo, Address, Phone Number
	FABRICATED BY:	PD
	MAINTAINED BY:	PD
	MAXIMUM QUANTITY:	One Per Lot
	DESIGN APPROVAL BY:	CMO
SIZE:	PERMIT REQUIRED BY:	City of Colorado Springs
	MAX HEIGHT:	18"
	MAX WIDTH:	24"
MATERIALS:	MAX SIGN AREA:	6 square feet
	SIGN MATERIALS:	Specified by Master Developer
	SIGN FACE COLORS:	Specified by Master Developer
	ILLUMINATION:	None

5.4.4 OWNER IDENTITY SIGN



FORMAT:	SIGN TYPE:	Freestanding
	LIFE SPAN:	Temporary
	FORMAT DESIGN BY:	Master Developer
	GRAPHIC DESIGN BY:	PD
	INFORMATION ALLOWED:	Owner's Name, Lot #, Address, Builder Logo
	FABRICATED BY:	PD
	MAINTAINED BY:	PD
	MAXIMUM QUANTITY:	One Per Lot*
	DESIGN APPROVAL BY:	CMO
	PERMIT REQUIRED BY:	City of Colorado Springs
SIZE:	MAX HEIGHT:	18"
	MAX WIDTH:	24"
	MAX SIGN AREA:	6 square feet
MATERIALS:	SIGN MATERIALS:	Specified by Master Developer
	SIGN FACE COLORS:	Specified by Master Developer
	ILLUMINATION:	None

ADDITIONAL CONSIDERATIONS:

*May be installed after contract has been signed and lot sign removed.

5.5 SIGNAGE RESPONSIBILITIES

The following table lists the parties responsible for implementation and maintenance of various signs.

<u>Type/Description</u>	<u>Implementation</u>	<u>Maintenance</u>	<u>Approvals</u>
a. Entry Monuments	Master Developer	PCVA	ARB/CMO
b. Community Directional Sign	Co-op	Co-op	CMO
c. Community Marketing Sign	Co-op	Co-op	CMO
d. Major Event Banner	Co-op	Co-op	CMO
e. Community Event Directional	Co-op	Co-op	CMO
f. Neighborhood Identification	Co-op	Co-op	CMO
g. Neighborhood Marketing	Co-op	Co-op	CMO
h. Future Development	MD	MD	CMO
i. Parcel Marker	MD	MD	CMO
j. Address Numbers	PD	Homeowner	ARB
k. Major Marketing	Co-op	Co-op	CMO
l. Future Model Site	Co-op	Co-op	CMO
m. Model Complex	Co-op	Co-op	CMO
n. Model Identity	Co-op	Co-op	CMO
o. Model Center Parking Directional	Co-op	Co-op	CMO
p. Development/Construction	PD	PD	CMO
q. Construction Directional	PD	PD	CMO
r. Custom Lot Major Marketing #1	Co-op	Co-op	CMO
s. Custom Lot Major Marketing Type 2 – Lot Sign	PD	PD	CMO
t. Owner Identity	PD	PD	CMO

MD - Master Developer
PCVA - Pine Creek Village Association
CCS - City of Colorado Springs
PD - Parcel Developer

CMO - Chief Marketing Officer
ARB - Pine Creek Architectural Review Board
Co-op - Builder Marketing Cooperative

5.6 GENERAL PROVISIONS

5.6.1 LETTER STYLE

The letter style for all common Pine Creek signage will be in one of the available weights of the **Helvetica** family as shown below. This letter style was selected because it combines readability with a timeless quality. Letter spacing shall be adjusted for each usage to ensure proper readability.

Parcel developers may be able to use their own established letter style with the approval of the CMO and ARB.

Helvetica Medium

abcdefghijklmnopqrstuvwxy

5.6.2 LOGO

A logo has been designed for use in all signage and for various marketing communications. Any use of the Pine Creek logo, colors and other marketing materials shall be subject to the prior approval of the CMO. The CMO shall establish design specifications and guidelines governing the approval and use of the logo and shall provide Builder with prototypes of acceptable materials. Specific uses of the Pine Creek name and logo by the builder are subject to prior written approval of The Master Developer. The Master Developer shall notify the builder of approval or disapproval of materials within ten business days of receipt of such materials, and, if disapproved, the specific changes requested. If The Master Developer fails to notify the builder within ten days, The Master Developer shall be deemed to have waived any objections to such materials. Upon disapproval, the foregoing procedure shall be repeated until approval is obtained or deemed to be obtained. Shown below is the acceptable relationship between the logo and lettering. The Master Developer will provide a disk upon request.



A GOLF COURSE COMMUNITY

- | | |
|---------------------|--|
| ONE-COLOR: | "Pine Creek" reversed out completely to white. |
| TWO-COLOR: | 1. Black |
| | 2. Green swirl (PMS 371) |
| | 3. "Pine Creek" reversed out completely to white |
| THREE-COLOR: | 1. Black |
| | 2. Green swirl (PMS 371) |
| | 3. "Pine Creek" printed in gold (PMS 871) |

PMS 871 is a metallic color. If you do not use **PMS 871**, you may use one of these colors below for the gold:

PMS 125C (C refers to coated, glossy stock)
PMS 117U (U refers to uncoated, matte stock)

5.6.3 SUBMITTAL AND APPROVAL PROCESS

All signage within Pine Creek requires approval prior to installation.

All projects requiring a signage permit from the City of Colorado Springs will require a letter of authorization from the ARB prior to applying for the permit.

Signage not requiring a permit from the City of Colorado Springs will require a letter of authorization from the CMO.

Signage submittals must be completed as a part of the individual parcel design review process, and will be reviewed by the ARB. Approval by the CMO/ARB shall not be deemed as approval by the City of Colorado Springs, nor shall it imply that the submitted designs are in compliance with City codes and ordinances. Once approved by the ARB, an application may be filed for sign permits with the City of Colorado Springs.

The signage submittal and permit application shall contain all of the following information and materials.

- a. The location and size of any existing or proposed buildings or structures on the parcel where the sign is to be located.
- b. The location of off-street parking facilities, including major points of entry and exit for motor vehicles where directional signs are proposed.
- c. A fully dimensioned plan including only those features directly related to the application indicating:
 - The intended location and position of the proposed sign(s); and
 - Its relationship to existing or proposed adjacent buildings, structures, landscaping, signs, easements, rights-of-way, back of curbs, property lines, roadways, sidewalks, paths and driveways on or adjacent to the parcel where the sign is to be located.
- d. Fully dimensioned drawings showing proposed design, size, exact colors, materials and square footage of the sign(s) or sign structures.
- e. Color and finished material samples.
- f. Elevation of proposed buildings and structures where such signs are to be attached.
- g. Methods of illumination including power requirements, points of connection, and transformer location and type.
- h. The method of attachment of the sign to any structure.
- i. Any illustration showing the size and color relationships of such sign or sign structure to the appearance and design of existing or

proposed buildings and structures on the parcel where the sign is to be located.

- j. Such other information as the ARB may specify to assure compliance with these guidelines.

5.6.4 ALLOWABLE SIGNS NOT REQUIRING A PERMIT

The following signs, if not illuminated, shall be allowed without obtaining a sign permit, once approved by the ARB:

- a. One (1) national or state flag properly displayed with a maximum of two (2) flags per pole, not to exceed thirty (30) feet in height and twenty-five (25) square feet in flag area. The national flag will be flown independently.
- b. "Open house" signs displayed up to four hours per day.
- c. All temporary non-commercial signs including, but not limited to, religious, charitable, civic, homeowner association, educational, political or cultural posters or special events of civic, philanthropic, educational or religious purposes. Refer to City of Colorado Springs Zoning Code for specific limitations. Temporary political signs must be removed within five (5) days after election.
- d. One (1) unilluminated, double-faced real estate advertising sign, for sale, lease or rent of a single-family residence after subdivision close-out:

Such sign shall not exceed six (6) square feet in area and six (6) feet in height;

Such sign shall be situated within the property line and in no event shall encroach upon public right-of-way or PCVA areas. Such sign shall remain only during the period of time that the premises are being offered for sale, lease or rent and in any event shall be removed seven (7) days after the property is sold, leased or rented or the offer for sale, lease or rent is terminated. Property shall be deemed to be sold upon the close of escrow, upon transfer of legal title, or upon execution of an installment sales contract, whichever occurs first;

5.6.5 PROHIBITED SIGNS

The following signs are prohibited:

- a. Any sign not approved by the ARB.
- b. Animated signs.
- c. Balloons or other inflatable, wind activated or spinning devices.
- d. Flashing signs.
- e. Revolving signs.
- f. Roof signs.

- g. Sandwich boards, trailer signs, bandit signs, open house signs or other portable signs (except where approved in these criteria).
- h. Pole mounted pylon signs.
 - i. Signs painted directly on a wall surface.
- j. Any sign emitting sound or substances.
- k. Window signs mounted on, or within 4 feet of the interior window surface unless part of an ARB approved Master Signage Plan for a particular parcel.
- l. Signs which by their color, wording, design, location, or illustration resemble, distract attention from, or conflict with any traffic control devices or directional sign.
- m. Signs that create a safety hazard by obstructing the clear view of pedestrian and vehicular traffic.
- n. Parcel Developer/Builder signs within the public right-of-way or upon public property (except where approved or required by a government agency) including, but not limited to, any notice, placard, bill, card, poster, sticker, banner, sign, advertising or other device affixed or attached to or upon any public street, walkway, crosswalk, or other right-of-way, curb, lamp post, hydrant, tree, telephone booth or pole, lighting system, or any fixtures of the police or fire alarm system.
- o. Signs that display a message, graphic representation, or other image that is obscene or signs that advertise activities that are illegal under Federal or State laws and rules and regulations, County resolutions, or City ordinances or resolutions.
- p. Vehicle Signs: No sign shall be temporarily attached to or placed upon any vehicle, including but not limited to trailers and mobile signs, unless otherwise specifically permitted by the City of Colorado Springs Zoning Code. This section shall not preclude the display of bumper stickers.

5.6.6 MAINTENANCE OF SIGNS

The following maintenance standards shall apply to all signs:

- a. Every sign and all parts, together with the frame, background, supports, or anchorage thereof, shall be continuously maintained in a safe, structurally sound, neatly painted, and well-repaired condition.
- b. Signs illuminated either internally or externally must be capable being fully illuminated and legible and the face(s) must be intact without holes or other exterior facial damage.
- c. Illuminated signs that are damaged or have defective lighting elements shall remain unlighted until repaired.
- d. In the case of abandoned signs, any message or copy pertaining to the abandoned business must be removed and replaced with a blank panel within ninety (90) days of user vacancy.

- e. Under no circumstances shall sign cabinets remain empty for periods exceeding ninety (90) days.
- f. Any graffiti shall be removed within 48 hours.

5.6.7 FINES

If the guidelines are not followed, the developer reserves the right to impose fines. The first violation will result in a written warning, the second violation will result in a fine being assessed, and the third violation may result in dissolution of the contract between Builder and Master Developer. Additionally, The Master Developer reserves the right to collect for any costs incurred during enforcement of these guidelines.

5.7 DEFINITIONS

Words and phrases used in these guidelines shall have the meanings set forth below. All other words and phrases shall be given their common, ordinary meaning, unless the context clearly requires otherwise.

Abandoned Sign. Any sign remaining in place or not maintained for a period of 90 days or more which no longer advertises or identifies an on-going business, product, service, idea or commercial activity.

Address Sign. The numeric reference of a structure or use to a street, included as part of a wall or monument activity.

Advertising. Any writing, painting, display, emblem, drawing, sign or other device designed, used or intended for display or any type of publicity for the purpose of making anything known or attracting attention to a place, product, goods, services, idea or statement.

Animated Sign. Any sign that uses movement or change of lighting or message to depict action or create a special effect or alternating scene.

Apartment/Multifamily Identification Sign. Signs identifying an apartment or multifamily building or an apartment or multifamily complex by name and/or address.

ARB. The Pine Creek Architectural Review Board as described in **Section 9.2(a)** of the Declaration.

Bandit Signs. Temporary real estate signs placed in the public right-of-way without a revocable permit from the City of Colorado Springs.

Banner. Any sign of lightweight fabric or similar flexible material that is permanently mounted to a pole or a building by a permanent frame at one or more edges. National flags, state or municipal flags, or the official flag of any institution or business shall not be considered banners.

Beacon. Any light with one or more beams directed into the atmosphere or directed at one or more points not on the same parcel as the light source; also, any light with one or more beams that rotate or move.

Billboard. Any off-premise outdoor advertising sign structure, including any outdoor advertising display.

Building. In addition to its common meaning, any structure requiring a building permit.

Building Facade. That portion of any exterior elevation of a building extending vertically from grade to top of a parapet wall or eaves, and horizontally across the entire width of the building elevation.

Building Frontage. The width of the building facing the public right-of-way, excluding eaves or roof overhangs. Where a building has more than one street frontage, the building frontage of the main public entry shall be measured.

Building Sign. Any sign attached to any part of a building, as contrasted to a freestanding sign.

Business Sign. A sign displaying information pertaining to goods, services or entertainment offered or produced by the business located on the same property as the business sign but not including advertising devices or advertising display.

Canopy Sign. Any sign that is a part of or attached to an awning, canopy, or other fabric, plastic or structural protective cover over a door, entrance, window or outdoor service area.

Change of Copy. The changing of an advertising message on a lawfully erected sign. A change of copy does not include the following (all of which acts shall be considered as the placing of a new sign): any alteration or reconfiguration of the outside dimensions of a sign, any structural modifications of a sign and/or relocation of all or any portion of a sign.

Changeable Copy Sign. A sign or portion thereof with characters, letters or illustrations that can be changed or rearranged without altering the face or the surface of the sign. A sign on which the message changes more than eight times per day shall be considered an animated sign and not a changeable copy sign for purposes of this definition. A sign on which the only copy that changes is electronic or mechanical indication of time or temperature shall be considered a “time and temperature” portion of a sign and not a commercial message or a changeable copy sign for purposes of this definition.

Chief Marketing Officer (CMO). The Chief Marketing Officer of the Master Developer.

City. City of Colorado Springs.

Construct. When used with reference to a sign, means to install, erect or place on the ground or on a building structure, or to affix, paint or post on or to a building or structure.

Commercial Message. Any sign wording, logo, or other representation that, directly or indirectly, names, advertises, or calls attention to a business, product, service, idea or commercial activity.

Construction Sign. A temporary sign erected on the parcel on which construction is taking place, limited to the duration of the construction, indicating the names of the architects, engineers, contractors, or similar artisans and the owner, financial supporters, sponsors, and similar

individuals or firms having a major role or interest with respect to the structure or project. May also include sales and leasing information.

Directional Sign. Any sign which serves solely to designate the direction or the location of any place or area.

Directly Illuminated Sign. Any sign constructed to provide artificial light either through exposed lighting on the sign face or through transparent or translucent material from a light source within the sign.

Directory Signs. A sign for listing the tenants, occupants, floor plan, addresses or suite numbers of a building, center or residential building complex.

Double-Faced Sign. A sign with copy of two parallel faces, legible from opposite directions.

Easement. A grant of one or more of the property rights, by the property owner, or public or private individual entity, to use by the public or private individual entity.

Event Sign. A temporary sign, other than a commercial sign, posted to advertise a civic event, builder event, grand opening, Homeowners Association event, etc., sponsored by a public agency, school, builder, HOA, church or religious institution, civic-fraternal or other organization.

Flashing Sign. Any sign which contains or is illuminated by lights which are intermittently on and off, which change in intensity or which create the illusion of flashing in any manner.

Flag. Any fabric, banner or bunting containing distinctive colors, patterns, or symbols, used as a symbol of a government, political subdivision or other private entity.

Freestanding Sign. Any sign supported by structures or supports that are placed on, or anchored in, the ground and that are independent from any building or other structure. (Ground sign or detached sign).

Freestanding Business Center Identification Sign. Freestanding signs which identify a business center, and not the individual businesses located therein.

Freestanding Individual Business Identification Signs. Freestanding signs which identify a building, business, profession or industry not located within a business center but located as a freestanding sign identifying an individual business.

Freeway/Parkway. A highway in respect to which the owners of abutting lands have no right or easement of access to or from their abutting lands or in respect to which such owners have only limited or restricted right or easement of access and which is declared to be such in compliance with the Streets and Highways Code of the State of Colorado.

Frontage. The length of the property line of any one parcel parallel to and along each public right-of-way which it borders.

Frontage, Building. The exterior building wall facing or oriented towards a public or private right-of-way. The amount of frontage shall be measured continuously along such building wall for the entire length of the subject business or use. Where a building faces two (2) or more rights-of-ways, the frontage which provided the subject building with its main or principal orientation to a public or private right-of-way, whether or not such frontage has a public entrance to the building, shall be designated as the building frontage.

Graffiti. Unauthorized and unwanted painting, drawing or any other types of markings on any public or private object visible from public areas within the community.

Grand Opening. A one-time promotional activity not exceeding 30 calendar days used by newly established businesses, within 2 months after occupancy, to inform the public of their location and service available to the community.

Habitable Structure. A structure that is suitable for human occupancy for purposes of employment, habitation or other purpose.

Height of Freestanding Signs. The greatest vertical distance measured from grade to the top of the sign and any accompanying architectural feature of the sign.

Identification Sign. A sign limited to identifying the name and/or street address, symbol or insignia, or any combination thereof, of a building, use or persons occupying the premise on which the sign is located.

Illegal Sign. Any of the following: a sign erected without first complying with all review processes, ordinances, and regulations in effect at the time of its construction and erection or use; a sign that was legally erected, but whose advertised use has ceased, or the structure upon which the display is placed has been abandoned by its owners, not maintained, or not used to identify or advertise an on-going business for a period of not less than 90 days; a sign that was legally erected which later became nonconforming as a result of the adoption of an ordinance, the amortization period for the display provided by the ordinance rendering the display nonconforming has expired, the display provided by the ordinance rendering the display nonconforming has expired and conformance has not been accomplished; a sign which is a danger to the public or is unsafe; a sign which is a traffic hazard not created by relocation of streets or highways or by acts of the City.

Illuminated Signs. Signs in which an artificial source of light is used in order to make the message readable. This definition shall include internally and externally lighted signs, and reflectorized, glowing, or radiating signs.

Incidental Sign. A sign, generally informational, that has a purpose secondary to the use of the zone lot in which it is located, such as “no parking,” “entrance,” “loading only,” “telephone,” and other similar directives. No sign with a commercial message legible from a position off the zone lot on which the sign is located shall be considered incidental.

Informational Signs. A sign which conveys information such as restrooms, no parking, entrance, hours of operation of a business,

emergency telephone numbers, credit card usage, or other information of a similar nature.

Kiosk Sign. A uniform series of off-site directional or informational signs, for the purpose of providing travel directions to the community, a residential subdivision or a non-residential project.

Lot. Any piece or parcel of land or a portion of a subdivision, the boundaries of which have been established by some legal instrument of record, that is recognized and intended as a unit for the purpose of transfer of ownership or lease.

Maintenance. Any activity relative to repair, restoration or preservation of an existing sign, display or device in a state similar to that when originally installed or erected.

Master Developer. Refers to LP47, LLC d/b/a La Plata Investments, its successors or assigns, the developer or Pine Creek, also referred to as "Declarant" in the Declaration.

Monument Sign. A low profile freestanding sign which has a supporting base incorporating the design and building material of the primary use of the property.

Multi-Tenant Commercial Building. Any structure with a commercial zoned parcel which contains a minimum of 3 tenants.

Non-Conforming Signs. Any sign that does not conform to the requirements of these signage criteria.

Off-Premises Sign. Any sign advertising or announcing any place, product, goods, services, idea or statement whose subject is not available or located at or on the lot where the sign is erected or placed.

On-Building Identification Signs. Permanent signs mounted on the building which identify a building or which identify the business(es), profession(s), or industry(ies) conducted on the premises.

On-Premises Sign. Any sign advertising or announcing any place, product, goods, services, idea or statement whose subject is available or located at or on the lot where the sign is erected or placed.

Outdoor Advertising Sign Structure. A sign, display, or device affixed to the ground or attached to or painted or posted onto any part of a building or similar permanent structure used for the display of an advertisement to the general public when viewed from the exterior of a building or similar enclosed area.

Painted Sign. A copy painted directly on the building walls or other surface, either as non-illuminated copy, or indirectly illuminated copy.

Parapet. The portion of a building wall that rises above the roof level.

Parcel. A piece or portion of land with a single type of zoning, divided from a larger acreage, with the purpose of being developed with a single use.

PCVA. Refers to the Pine Creek Village Association, Inc., a Colorado non-profit corporation, its successors or assigns.

PD. Parcel Developer.

Pennant. Any lightweight plastic, fabric or other material, whether or not containing a message of any kind, suspended from a rope, wire, or string, usually in a series designed to move in the wind.

Political Sign. Any sign advertising the candidacy for office of any person or any sign advertising support or non-support of a candidate for office or of action on a ballot matter of a primary, general or special election.

Portable Sign. Any sign not permanently attached to the ground or other permanent structure, temporarily placed commercial “stab signs” or other commercial sign designed to be transported, including, but not limited to, signs designed to be transported by means of wheels; signs converted to A – or T-frames; menu and sandwich board signs; tethered balloons used as signs; vehicles designed with the express purpose of providing advertising space; and signs attached to or painted on a vehicle or trailer which is parked and visible from the public right-of-way, unless said vehicle is used in the normal day-to-day operations of the business.

Principal Building. The Building in which is conducted the principal use of the parcel on which it is located. Parcels with multiple principal uses may have multiple principal buildings, but storage buildings, garages, and other clearly accessory uses shall not be considered principal buildings.

Projecting Sign. Any sign affixed to a building or wall in such a manner that its leading edge extends more than 12 inches beyond the surface of such building or wall.

Real Estate Sign. An on-premises sign placed upon or adjacent to a building, subdivision or parcel of land advertising the lease, rent or sale of said building, lot or parcel of land.

Relocate. When used with reference to a sign, means to move a sign from one location to another or to remove a sign from one location and construct a similar sign at another location.

Resale Sign. An on-site sign advertising sales information about a previously owned structure or property.

Retail Center. A building or group of buildings within a commercially zoned parcel which primarily contains tenants engaged in the sale of goods and/or services.

Rider. Additional sign panels or graphic elements attached to or suspended from the main body of a sign. These “Riders” may be added after the original sign is installed and usually extend beyond the boundaries of the sign.

Right-of-Way, Public. A public street or highway, but not including a freeway.

Roof Line. The ridge of the roof or the top of the parapet, whichever forms the top line of the building silhouette.

Roof Sign. Any sign erected and constructed wholly on and over the roof of a building, supported by the roof structure, and extending vertically above the highest portion of the roof.

Roof Sign, Integral. Any sign erected or constructed as an integral or essentially integral part of a normal roof structure of any design, such that no part of the sign extends vertically above the highest portion of the roof.

Sandwich Board. A temporary, portable, freestanding sign, usually with an A-frame configuration, used to promote property, goods or services.

Seasonal or Holiday Signs. Signs such as Christmas decorations, those used for a historic holiday, and installed for a limited period of time.

Setback. The distance from the property line to the nearest part of the applicable building, structure, or sign, measured perpendicularly to the property line.

Shopping Center. A group of 3 or more commercial retail businesses which have been designed and developed together as an integral unit on a single parcel of land or separate parcels of land and which businesses utilize common off-street parking or access.

Sign. Any device, fixture, placard, structure or other medium, including its structure and component parts, that uses any color, form, graphic, illumination, symbol or writing to advertise, announce the purpose of, or identify the purpose of a person or entity, or to communicate information of any kind to the public.

Sign Face. The surface or that portion of a sign upon which the sign copy or message is located that is visible from a single point as flat surface or a plane.

Sign Permit. Any permit issued by the City of Colorado Springs for any sign as required by these Criteria.

Sign Plan or Program. An approved plan by the City of Colorado Springs as required by the City Zoning Ordinance.

Sign Structure. Any structure which supports, has supported, or is capable of supporting a sign, including decorative cover.

Street. A strip of land or way subject to vehicular traffic (as well as pedestrian traffic) that provides direct or indirect access to property, including but not limited to, alleys, avenues, boulevards, courts, drives, highways, lanes, places, roads, terraces, trailers, or other thoroughfares.

Street Frontage. The distance for which a lot line of a parcel adjoins a public street, from one lot line intersecting said street to the furthest distant lot line intersecting the same street.

Subdivision Directional Signs. Any temporary on or off site sign that advertises or informs the public of the existence, direction to or sale of lots or dwelling units in a residential subdivision located within the Community.

Subdivision Entry Statement and Location Signs. Any permanent on-premises architectural design statement or feature at the entrance to a subdivision which serves to advertise the identity of or any on-premises subdivision interior sign which provides location information with the subdivision.

Subdivision Sales Sign. Any temporary on-premises subdivision sign that advertises or informs the public of the existence, location or sale of lots, model units or new dwelling units within a residential subdivision.

Suspended Sign. A sign that is suspended from the underside of a horizontal plane surface and is supported by such surface.

Temporary Signs. Any sign that is displayed for a short period of time and is not permanently mounted.

Under-Canopy Signs. Signs suspended no lower than 8 feet above the public right-of-way under a canopy or awning of a building, which identify a business, profession or industry conducted on the premises.

Unlawful Sign. A sign which was constructed illegally and which violates these Criteria and/or other City Codes or which is declared to be unlawful because it has become dangerous to public safety.

Upgrade. Any activity intended to improve the design quality and aesthetic appeal of an existing sign, display, or device by modifying structural elements of, or providing substantial cosmetic enhancements to, such sign, display or device.

Wall Sign. Any sign attached parallel to, but within 12 inches of, a wall, painted on the wall surface of, or erected and confined within the limits of an outside wall of any building or structure, which is supported by such wall or building, and which displays only one sign surface.

Window Signs. Any sign, pictures, symbol or combination thereof, designed to communicate information about an activity, business, commodity, event, sale or service, that is placed inside a window or upon the window panes or glass and is visible from the exterior of the window. This term does not include merchandise located in a window display.

5.8 APPENDIX

5.8.1 PROVISIONS AND STANDARDS

The following provisions and standards are applicable to all signage described in these criteria.

- a. **Types of Materials.** The types of materials for sign structures shall, if possible and practicable, be similar to or the same as materials used in the related buildings.
- b. **Illumination of Signs.** Unless otherwise prohibited by this criteria, signs may be illuminated. No illuminated sign or lighting device shall be placed or directed so as to permit or cause glare or reflection which may constitute a traffic or safety hazard or interfere with the use and enjoyment of a public street, walkway, or adjacent properties. All power conduit and transformers shall be concealed.
- c. **Obstruction of Public Passage.** No sign may be constructed so as to obstruct any window, door, fire escape or other emergency exit of any building.
- d. **Location of Signs.** In general, all signs located on-premises shall be outside of any right-of-way, easements or PCVA maintained areas. There are certain exceptions where a community or parcel sign may be placed off-site or in the right-of-way.
- e. **Sight Visibility Lines or Triangles.** Signs or sign walls shall not extend into sight visibility lines as determined by civil engineering or landscape architects or sight visibility triangles as set forth in the City of Colorado Springs Zoning Code.
- f. **Construction.** Every sign and all parts, portions, units, and materials comprising the same, together with the frame, background, supports, or anchorage therefore, shall be manufactured, fabricated, assembled, constructed, and erected in compliance with all applicable Federal, State, and City laws and regulations. Any person or entity engaged in the business of constructing signs in the City shall have a valid state contractor's license and a City business license. No person shall erect, construct or install a sign or cause such sign to be erected, constructed or installed without having first obtained all required permits and licenses.

5.8.2 SIGN AREA COMPUTATIONS

The City of Colorado Springs Zoning Code states the sign area of freestanding and low profile signs shall be calculated as follows:

"A line shall be drawn horizontally across the lowest point of copy or cabinet. The area below this is considered the base and will not be included as sign area. Above the base, lines shall be drawn across the top and bottom of each area of individual copy, continuous message or cabinets. These lines shall extend to the edge of the sign on monoliths and to the poles or pole covers on other types of signs. The area within these lines shall be included in the sign area calculation. If blank areas or air spaces between the copy or cabinet are less than six (6) inches then these areas shall also be included in the sign area calculation. Irregular spaces shall be measured at the median

point. Any area above the highest point of copy or cabinet shall be considered a topper since it is not required for the support of any copy. The sign area calculation shall include any portion of a topper as long as the portion or topper does not exceed 25% of the total allowable sign area.

For all signs other than freestanding and low profile signs, the sign area shall include the entire face of the sign, frame, and art work incidental to its decoration and shall include any spacing between letters, figures, and designs but shall not include the bracing or structure. When the sign consists only of letters, designs, or figures, the total area of the sign shall be calculated by using no more than two standard geometric figures within which all of the fixed lettering, spacing between letters, and/or artwork is inscribed. Standard geometric figures include the square, rectangle, triangle, circle, and half circle. Proper font tails lower case letters will not be included in the sign area calculation. Customized or extended tails are included.

All sides of a sign which are visible from any one vantage point shall be measured in determining the area of a sign, except that only one side of a sign shall be measured if the two (2) sides are back to back or separated by an angle of forty-five degrees (45) or less. If the two (2) sides are not of equal size, the larger side shall be measured. A back to back sign shall have parallel faces, separated by not more than four feet (4 feet)."

6. Design Review

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6. Design Review

6.1 PURPOSE

To maintain a consistent and integrated design throughout the entire community, the Pine Creek Architectural Review Board (ARB), will review and approve all proposed development within Pine Creek. A design review process has been established to review all exterior improvements to a lot or building including site planning, architecture and landscape design for conformance to the Design Guidelines. In addition, the ARB will encourage excellence and innovation in the development of a cohesive village design statement. Please refer to **Section 5** for review and approval process for signage.

The provisions for architectural and development control are established in **Section 9** of the Declaration.

6.2 REVIEW REQUIREMENTS

6.2.1 IMPROVEMENTS REQUIRING REVIEW

All improvements on a lot or parcel or to any building require review and approval by the ARB in accordance with the procedures set forth in this Section. Any field changes must be approved by the ARB prior to construction.

6.2.2 SUBMITTAL REQUIREMENTS

Exhibit 6-A outlines the format and content of submittals to the ARB. All builder plans must be prepared by licensed or otherwise qualified design professionals. Applicants are strongly encouraged to use the application form available from the ARB. Submittals that are deemed incomplete or illegible will be returned unreviewed.

6.2.3 REVIEW STANDARDS

The ARB shall review each submittal for its commitment to overall community standards and adherence to the Design Guidelines, any of the supporting documents identified in **Section 1.3.2** or the builder program. Neither the Master Developer nor the ARB assume responsibility for plan review of, or conformance to, applicable local codes or ordinances of builder or parcel developer plans.

The ARB will make every effort to review plans carefully in accordance with the Design Guidelines. The ARB reserves the right to make additional comments on final plans, regardless of preliminary approval or oversight. However, no approval shall be granted which is inconsistent with the Design Guidelines unless a variance has been granted in writing by the ARB. Refer to **Section 6.3.4** for variances.

6.2.4 APPLICATION RESPONSE TIME

After a submittal is accepted as complete and is in accordance with the design review requirements, the ARB shall approve or disapprove a submittal within ten business days from submittal acceptance.

6.2.5 REVIEW FEES

The ARB shall provide free plan reviews up to the number identified in **Exhibit 6-A**. Plans requiring review in excess of this number shall be charged a fee of \$100 per review payable at the time of submittal.

6.3 PLAN REVIEW PROCESS

6.3.1 COURTESY REVIEW

Prior to any preliminary submittal to the ARB, the builder or parcel developer may request a courtesy review to discuss preliminary design concepts, review submittal requirements or discuss any items unique to the parcel or builder program. There is no fee for a courtesy review.

6.3.2 PRELIMINARY AND FINAL PLAN REVIEW

Exhibit 6-A outlines the preliminary and final plan review requirements. Once a preliminary plan has been approved or approved with conditions, the builder or parcel developer may proceed to final plan submittal. The builder must address all conditions on final plans before final approval will be granted.

Builders may not skip preliminary plan review and go directly to final plans without prior permission by the ARB. Builders skipping the preliminary plan review will forfeit the free preliminary plan reviews listed in **Exhibit 6-A**.

6.3.3 APPROVALS AND RE-SUBMITTALS

All submittals reviewed by the ARB will be noted as follows:

- a. **Approved** - Submittal satisfies all ARB requirements.
- b. **Approved with Conditions** - Submittal satisfies most ARB requirements but may contain some minor items in need of clarification or correction. Conditions must be addressed prior to final approval.
- c. **Address Comments and Resubmit** - Submittal contains significant deficiencies, does not conform with the Design Guidelines, or does not address previous comments. Submittal must be resubmitted with all comments addressed.
- d. **Denied** - Submittal contains items not permitted by the Design Guidelines or the builder program.

6.3.4 VARIANCES

The ARB may grant variances to the Design Guidelines only when unique circumstances dictate that the requirements cannot be met. Financial hardship is not a consideration in granting variances. Variances must be granted in writing from the ARB to be effective and must not be contrary to the Declaration. Refer to **Section 9.6** of the Declaration for additional information.

6.3.5 CITY OF COLORADO SPRINGS SUBMITTALS

All plans must be reviewed and approved by the ARB prior to submission to the City of Colorado Springs, Regional Building Authority or any other governmental agency. Any exceptions to this must be granted in writing from the ARB.

6.4 ENFORCEMENT

The ARB will make periodic, in-progress inspections of construction to ensure compliance with the approved construction documents, plans, and the Design Guidelines. Installation of any exterior improvement without ARB approval constitutes a violation of the Declaration.

If in the course of its inspection, the ARB finds a violation of the conditions of approval or is not in conformance with the Design Guidelines or any other governing documents, a "Notice of Violation" will be provided to the builder or parcel developer. Construction must cease immediately upon receipt of the Notice.

If a violation is not resolved within 7 days of the date of Notice, a "Notice of Sanction" will be provided to the builder or parcel developer. The Notice will advise that a \$500 Sanction is being imposed. A written request for a hearing may be made within 15 days of the Notice. The ARB will determine at the hearing whether the sanction will be imposed. If no hearing is held, the sanction will be imposed, due and payable within 30 days of the Notice of Sanction. The Sanction will constitute a lien against the property.

Refer to **Section 10.9** of the Declaration for additional construction requirements.

PINE CREEK SUBMITTAL REQUIREMENTS

NOTE: Not all submittal requirements apply to each applicant.

Submittal Phase/Document	Contents	ARB Free Reviews
SITE IMPROVEMENTS		
Site Plan	<ul style="list-style-type: none"> a. Street Layout b. Lot layout with dimensions and square footage c. Building footprints (if not subdivided) d. Walkway layout e. Model home locations f. Lot fence locations g. Village fence/wall locations h. Parcel entry locations 	3
Preliminary Grading and Drainage Plan	<ul style="list-style-type: none"> a. Proposed and existing contours or elevation of all building-pads b. Elevation, location, and typical detail of all drainage structures and erosion control measures c. Existing grades along parcel perimeter with all appropriate perimeter cross sections d. Proposed street gradients e. Retaining wall locations with cross sections f. Native site features to be preserved g. Request for overgrading and compaction 	3
<p>NOTE: The preliminary grading and drainage plan must be submitted with the site plan. Any proposed deviations from the Master Drainage Report will require a technical drainage study with calculations.</p>		
Development Plan	<ul style="list-style-type: none"> a. All information required by the City of Colorado Springs b. Signature block for Pine Creek ARB approval 	2
Zoning Change Request	<ul style="list-style-type: none"> a. All information required by the City of Colorado Springs b. Signature block for Pine Creek ARB approval 	2
Improvement Plans	<ul style="list-style-type: none"> a. All perimeter grading sections and details b. Typical grading sections on corner side lots as appropriate to define all grading conditions 	3

SUBMITTAL REQUIREMENTS

EXHIBIT 6-A

Submittal Phase/Document	Contents	ARB Free Reviews
	<ul style="list-style-type: none"> c. Storm drain inlet/outlet details along with any storm drain pipe profiles and wall/overflow opening details d. Water plans e. Sanitary sewer plans f. Street lighting plans g. Paving plans with all appropriate street sections h. Signature block for Pine Creek ARB 	
Drainage Report	<ul style="list-style-type: none"> a. One copy must be submitted with the first submittal of Improvement Plans 	3
Colorado Springs Utilities Electric Plans/U.S. West Telephone Plans	N/A	
Final Plat	<ul style="list-style-type: none"> a. All information required by the City of Colorado Springs b. Legal descriptions and exhibits for all easements and/or right-of-way dedications. Final plats submitted for review without all appropriate easement/right-of-way documents will be deemed incomplete c. One copy of the recorded final plat 	2
Plot Plans	<ul style="list-style-type: none"> a. Building footprint b. Building identification (plan and elevation numbers) c. Pad elevation d. Setbacks e. Interior wall locations f. Retaining wall locations g. Driveway location and dimensions h. Sidewalk location i. Existing adjacent units with pad elevation and building identification (screened or dashed to indicate existing) j. Color scheme of proposed and adjacent units 	2
Temporary Sales Trailers	<ul style="list-style-type: none"> a. Site plan/location b. Model number and specifications c. Building elevations d. Exterior color and materials e. Landscape plan 	2

SUBMITTAL REQUIREMENTS

EXHIBIT 6-A (cont.)

Submittal Phase/Document	Contents	ARB Free Reviews
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BUILDING IMPROVEMENTS

Preliminary Architecture	a. Preliminary floor plans of all buildings	2
	b. Sketches of all proposed front, side, and rear elevations. Identify architectural style	
	c. Elevations labeled to describe all materials and colors	
	d. Roof plan showing roof pitch and overhangs	
	e. Typical plot for each unit/model indicating building footprint, setback requirements, driveway locations, sidewalk and wall locations, and meter and HVAC pad locations	
	f. Square footage of all areas including living space, garages, option space, etc.	
Final Architecture	a. Detailed floor plans	2
	b. Detailed front, side, and rear elevations. Identify architectural style	
	c. Architectural exterior details	
	d. Roof plan showing roof pitch and overhangs	
	e. Square footage of all areas including living space, garage option space, etc.	
Materials Sample Board	a. All information required in Section 3.6	2
	b. Material samples shall be securely mounted on one or more lightweight board(s) not to exceed 8½" x 14" and shall include: <ul style="list-style-type: none"> • color chips • manufacturer cut sheets • photographs or samples for: <ul style="list-style-type: none"> - roof material - entry door - garage doors - paint or stain color chips - masonry - exterior surface mounted light fixtures 	
	c. Exterior elevations with color application designs (color blocking)	

NOTE: Materials Sample Board(s) must be submitted with final architecture to be deemed complete

SUBMITTAL REQUIREMENTS

EXHIBIT 6-A (cont.)

LANDSCAPE IMPROVEMENTS (provided by Builder or Parcel Developer)

Landscape Concept Plan	<ul style="list-style-type: none"> a. Front and corner side yard tree locations b. Plant list with sizes c. Special landscape features d. Landscape for: <ul style="list-style-type: none"> • typical interior lots • typical corner lot • common areas e. Model homes landscape plan f. Parcel entries signage location g. Interior fence details h. Street and walkway lighting (if different than City Standards) i. Parking lot landscape (multi-family) 	2
Landscape Construction Drawings	<ul style="list-style-type: none"> a. Landscape plans for typical interior and corner lots b. Landscape and irrigation plans of all common areas c. Landscape plans of model home complexes d. Landscape plans for temporary trailers e. Landscape plans for parking lots (multi-family) 	2

SIGNAGE

Signage Plan	<ul style="list-style-type: none"> a. Refer to Section 5
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